

Friday, May 5, 2023

PLEASE MUTE YOUR MICROPHONE

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

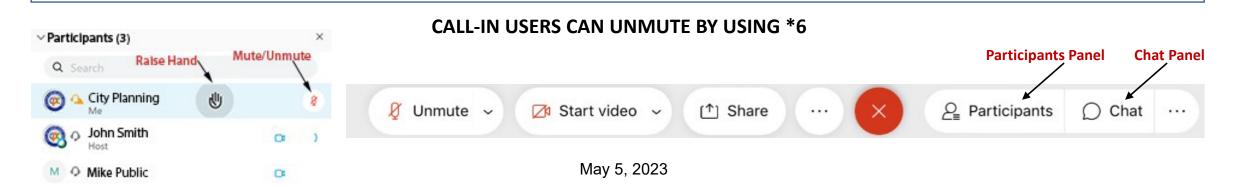
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. RECUSALS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER SUBMITTED THROUGH PROPER CHANELLS HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER. PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

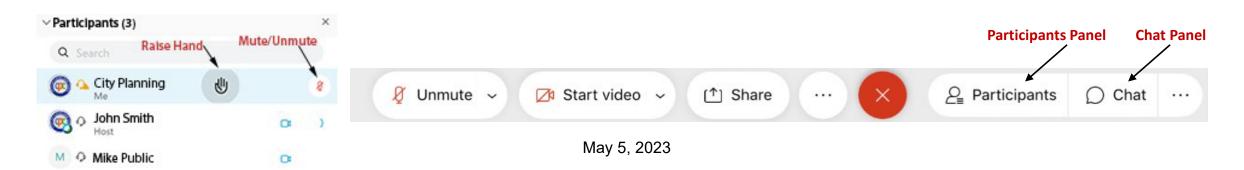
COMMUNICATION WITH MEMBERS OF THIS BODY MUST FOLLOW PROPER CHANNELS FOR CONSIDERATION.

ANY COMMENTS RECEIVED BY THE STATED DEADLINE ARE COLLECTED BY CITY PLANNING STAFF AND

DISSEMINATED TO THE COMMISSION MEMBERS PRIOR TO ANY SCHEDULED MEETING.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



Call to Order and Roll Call



Approval of Minutes from Previous Meeting



Zoning Map Amendments



Zoning Map Text Amendments

NING CONTROL OF THE PROPERTY O

May 5, 2023

Ordinance No. 220- 2023 (Ward 3/Councilmember McCormack):

Changing the Use, Area & Height Districts of parcels of land north of University Road between I-90 East and West 3rd Street (Map Change 2666). <u>To be Approved Subject to Stated</u> Amendment.

SPA: Tremont

Presenter: Shannan Leonard, Staff Planner

Map Change 2666

Cleveland City Planning Commission May 5, 2023





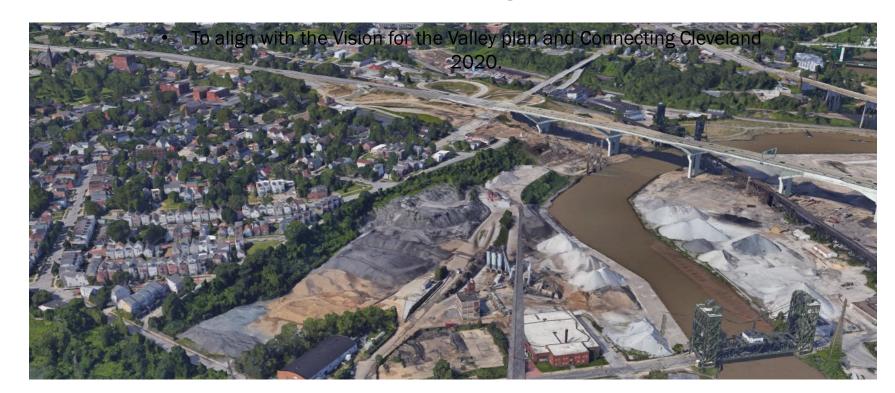
Proposal



Changing the Use, Area & Height Districts of parcels of land north of University Road between I-90 East and West 3rd Street. (MC 2666)

<u>Purpose</u>

- To remove legacy industrial zoning.
- To correct a split-zoning occurrence.
- To promote a variety of uses multi-family, townhomes, single family, makers spaces, and neighborhood retail.



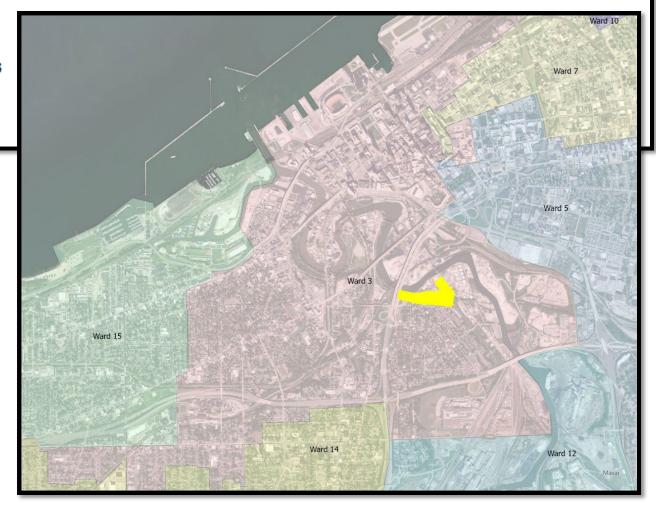
<u>Cleveland Context + Council Support</u>

Matt/Director Huang, please accept this email as my support for moving forward with his rezoning. Thank you for your effort and support here.

Best,

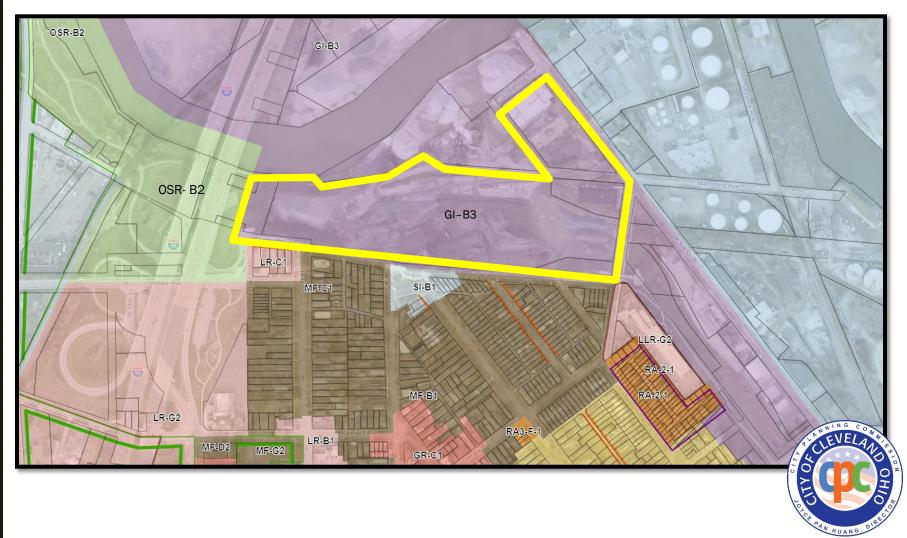
Kerry

Kerry McCormack Council Member, Ward 3 Majority Leader Cleveland City Council (216) 664-2691





Current Zoning



Existing Context



SW View **Existing Context**





SW View

Existing Context





SW View Literary Rd & W 3rd

Existing Context

NW View W 3rd

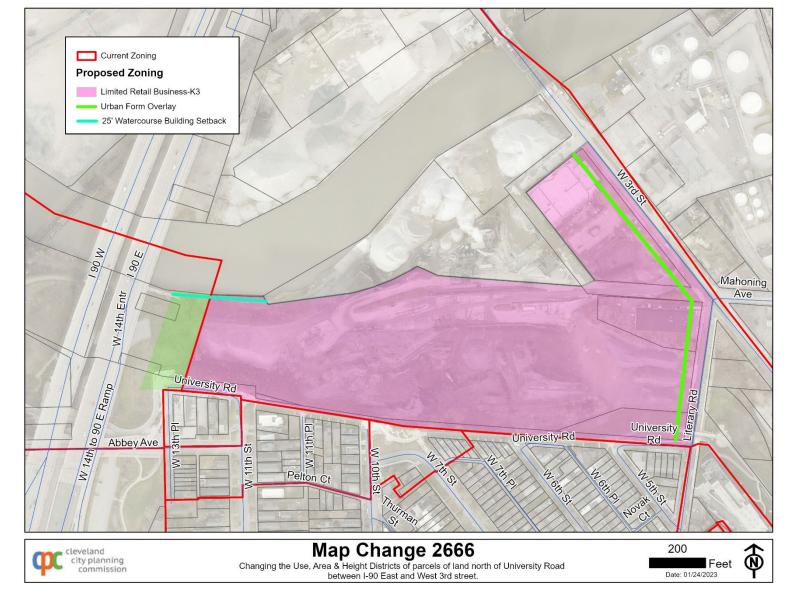




SE View W 3rd

Original Proposed Zoning (K5 -> K3) Currently B3; No change in Height

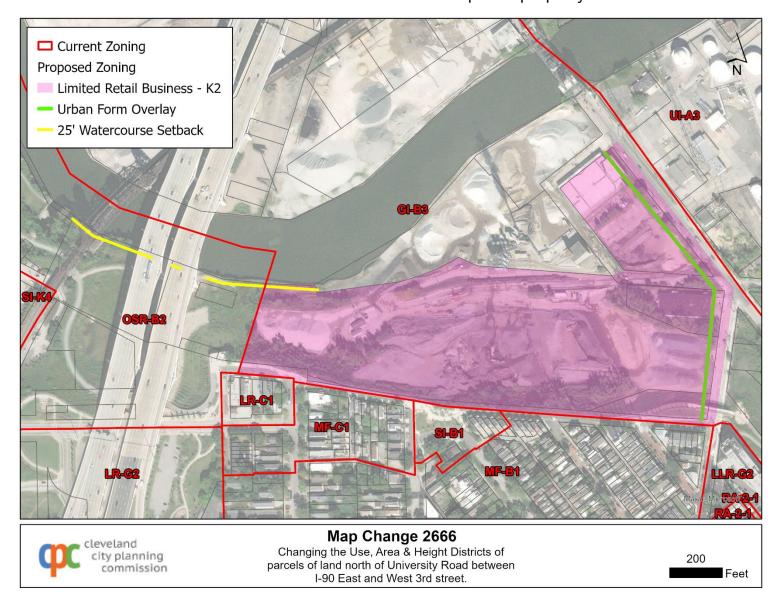




Proposed Zoning

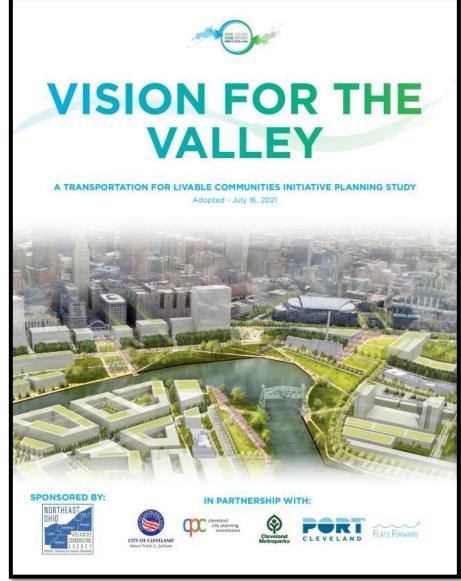


General Industry – B3 to Limited Retail Business – K2 Extend Watercourse Setback across public property





- Connecting the Tremont Neighborhood to the waterfront.
- Clean up legacy environmental issues within the river valley (this is an industrial site we can remediate as a part of the development process).
- Restore native riparian landscapes along the riverfront to manage stormwater runoff, improve water quality, and improve the aesthetic quality of the River Valley.



Proposed Zoning: Limited Retail Business- K5





Proposed Zoning: 25 Ft Watercourse Setback





Proposed Zoning: Watercourse Setback





Proposed Zoning

Urban Form Overlay:

To promote equity/safety by encouraging a vibrant pedestrian experience

Building Des.an:
improve walkable
characteristics
to promote safety
by promoting
interaction
between
interior/exterior
space

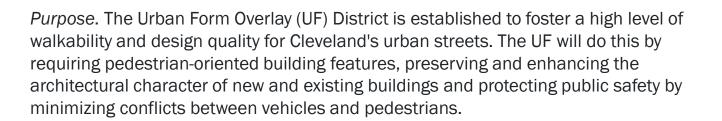
Building
Setbacks: Builds
a street wall
while still
allowing room for
façade
articulation &
patios

SetBacks:

A. Front yard depth; principal street frontage Single-family, two-family, townhouse: 0 ft. min., 10 ft. max.
All other building types: 0 ft. min., 8 ft. max.

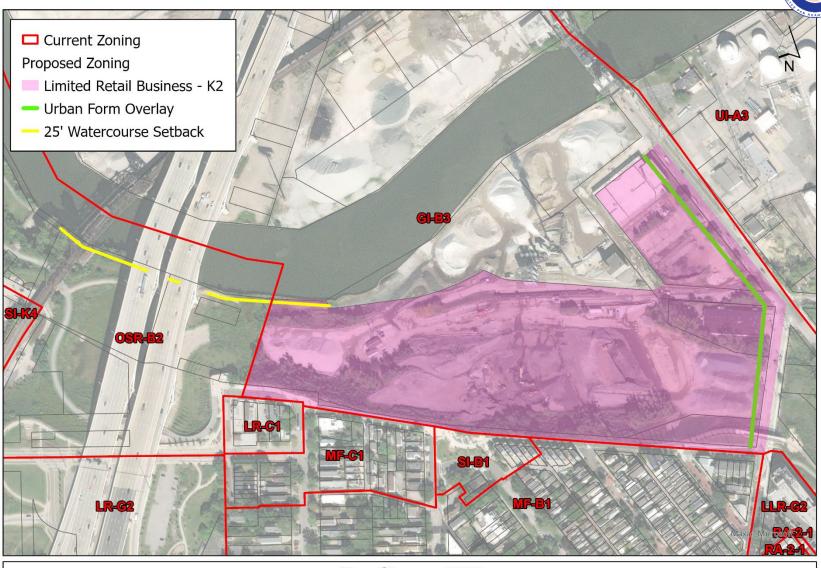
Parking:

Encourages right amount in right place to support walkable neighborhoods





Proposed Zoning





Map Change 2666

Changing the Use, Area & Height Districts of parcels of land north of University Road between I-90 East and West 3rd street.



Lot Consolidation / Splits



Lot Consolidation / Split

LANGE OF THE PROPERTY OF THE P

May 5, 2023

For PPN# 003-26-042

Address: 3405 Clinton Avenue

Representative: Dan McCarthy, Property Owner

Note: the Planning Commission Tabled this item on February 3, 2023 to allow the neighborhood

the opportunity to fully vet the proposal.

3405 Clinton Ave, Cleveland, OH 44113

LOT SPLIT PLAN & PICTURES

Currently existing...

- House on Clinton Ave.
- Structure in backyard is a 2 car garage on Vine Court.
- Neighboring house to east at 3401 Clinton has no land...Subject 3405 Clinton lot is behind neighboring house.





003-26-063
LYTLE, WILLIAM K
1497 W 38 ST
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	35	Legal Depth	66
Effective Front	35	Avg Depth	66
Lot Size (SqFt.)	2310	Acreage	0.053
Topography	LEVEL	Lot Shape	RECTANGULAR

- 7 lots on the same block, all under 4800 square feet.
- Proposed lot would be 3780 square feet, larger than
 6 below.
- Making a flag shaped lot into 2 rectangular parcels, making it similar to all below.

003-26-062
RYLA PARTNERS, LLC.
1507 W 38 ST
CLEVELAND, OH. 44113

003-26-071 SANDOVAL, LUIS S. & PHILBIN, ANDREW P. 1518 W 32 ST CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	35	Legal Depth	66
Effective Front	35	Avg Depth	66
Lot Size (SqFt.)	2310	Acreage	0.053
Topography	LEVEL	Lot Shape	RECTANGULAR

Land Record

Record Number	1	Land Type	1
Legal Front	35	Legal Depth	116
Effective Front	35	Avg Depth	116
Lot Size (SqFt.)	4060	Acreage	0.093
Topography	LEVEL	Lot Shape	RECTANGULAR

003-26-045 VANWAGENEN, GLENN J

003-26-085 VANWAGENEN, GLENN J 3305 CLINTON AVE CLEVELAND, OH. 44113

Land Record

CLEVELAND, OH. 44113

Record Number	1	Land Type	1
Legal Front	33	Legal Depth	86
Effective Front	33	Avg Depth	86
Lot Size (SqFt.)	2838	Acreage	0.065
Topography	LEVEL	Lot Shape	RECTANGULAR

Land Record

	Record Number	1	Land Type	1
	Legal Front	33	Legal Depth	99
	Effective Front	33	Avg Depth	99
	Lot Size (SqFt.)	3267	Acreage	0.075
2	Topography	LEVEL	Lot Shape	RECTANGULAR

003-26-043 UP TO BAT WEST, LLC 3401 CLINTON AVE CLEVELAND, OH. 44113 003-26-072 JOHNSEN, ELISABETH & CRAWFORD, DAVID 1522 W 32 ST CLEVELAND, OH. 44113

Land Record

Laria Record			
Record Number	1	Land Type	1
Legal Front	36	Legal Depth	80
Effective Front	36	Avg Depth	80
Lot Size (SqFt.)	2880	Acreage	0.066
Topography	LEVEL	Lot Shape	RECTANGULAR

Land Record

Land Necold				
Record Number	1	Land Type	1	
Legal Front	25	Legal Depth	116	
Effective Front	25	Avg Depth	116	
Lot Size (SqFt.)	2900	Acreage	0.067	
Topography	LEVEL	Lot Shape	RECTANGULAR	

Proposed lot split... Clinton Avenue N.W. 66' BASIS OF BEARING: Bearings are based on Ohio State Plane North Zone (NAV88) by GPS observations. 683621W 438.13(Wed.) All pins set are 5/8" x 30" rebar with yellow cap marked "J. Alban 7651". GRAPHIC SCALE S/82FM FML(D.MS) 66.00 (Rec.) 66.17 (Mad.) 66.00 (Rec.) 66.17 (Med.) APPROVALS: THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE PLATTING COMMISSION OF THE CITY OF CLEVELAND, DAY OF PLATTING COMMISSIONER THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO, Enisting 1,681.3 sq.ft Wd.Frm.Hae. Add.#3405 99 Street PLANNING DIRECTOR THIS PLAT OF LOT SPLIT IS ACCEPTED BY THE CITY ENGINEER OF THE CITY OF CLEVELAND, OHIO, THIS 38th. CITY ENGINEER PPN: 003-26-040 ACCEPTANCE: West I, THE UNDERSIGNED OWNER OF THE LAND SHOWN HEREON, DO OWNER WITNESS NOTARY: COUNTY OF CUYAHOGA) STATE OF OHIO BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED.
THE OWNER OF THE PROPERTY DEPICTED HEREON,
WHO ACKNOWLEDGED THE SIGNING OF THIS FOREGOING
INSTRUMENT TO BE HIS FREE ACT AND DEED. IN WITNESS WHEREOF, I PPN: 003-26-045 HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT_ DAY OF NOTARY PUBLIC MY COMMISSION EXPIRES S/L 110 S/L 111 S/L 35 SURVEYORS CERTIFICATION; I THE UNDERSIGNED DO HEREBY CERTIFY THAT I HAVE 66.00 (Rec.) 66.17 (Msd.) SURVEYED THE PREMISES AND HAVE PREPARED THIS PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMAL PARTS Drill Hole Mon Found And Used 74.00'(Rec.) 74.17'(Mad.) S88'36'21'W Vine Court N.W. 16' (Formerly Vine Alley) DESCRIPTION BY DATE REV. DATE: Nov.10, 2022 PREPARED BY: 3405 Clinton Avenue - PPN:003-26-042 Plat of Lot Split SCALE: 1"= 20' ALBAN SURVEYING CO. Lands Known As Being Part Of Sublot No.36, In The Taylor Farm Allotment, As Recorded In Vol.2, Pg.22 Of C.C.R., And Further Known As Being Part Of Original Brooklyn Township Lot Number 51, Now In The City Of Cleveland, County Of Cuyahoga In The State Of Ohio. FIELD M.H. Engineers and Surveyors Prepared For: 38052 Euclid Avenue, Suite 200 DRAWN BY: G.S.V. Spectre One, LLC Willoughby, Ohio 44094 CHKD.BY: J.R.A. Phone: 440-946-0752

SHEET 1 of 1

Clinton Ave

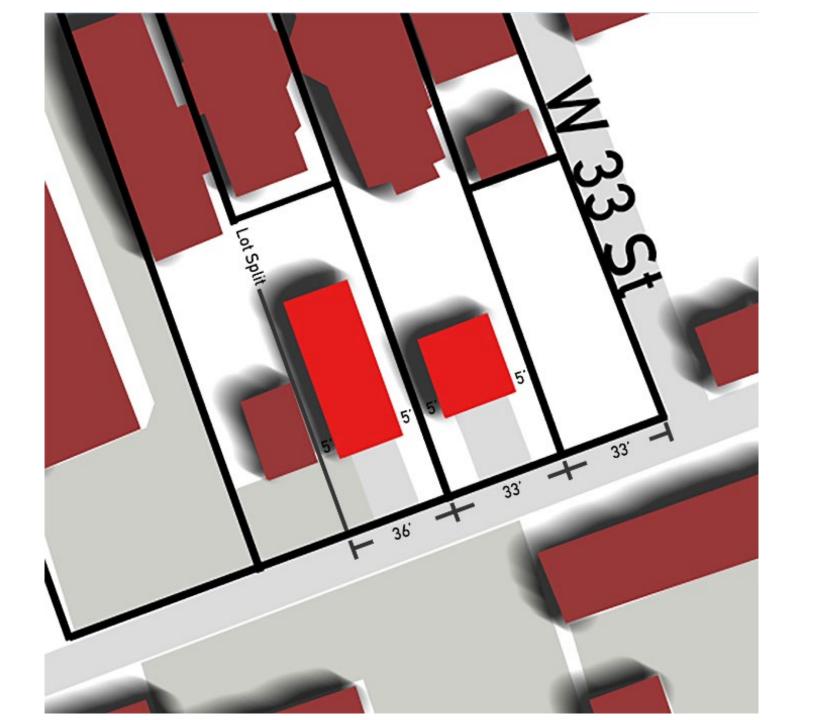


Vine Court

SITE PLAN

- Creating a better Vine Ct with 3 garages and driveways, along with landscaping.
- Single family would be on new parcel.
- Width gives enough room to keep 3'-5' setbacks for side yards.
- Garage on single-family to be Vine Court loaded and in line with all other townhouses, garages, houses on Vine.









Street views...



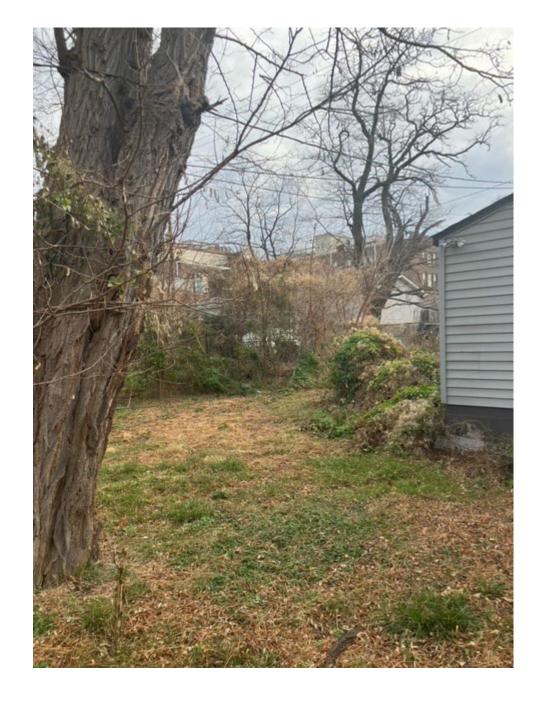


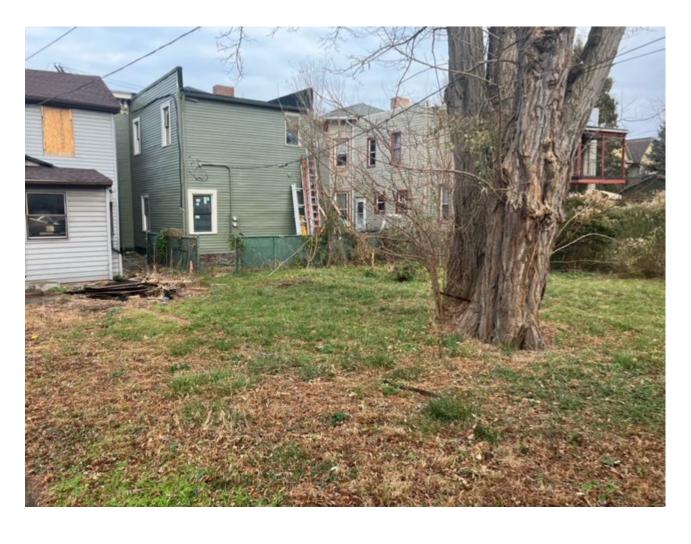












Cleveland City Planning Commission

Staff Report



Cleveland City Planning Commission

Design Review Cases



Far West Design Review Case

LID OHOO

May 5, 2023

FW2023-004 – Proposed Demolition of a 1-Story Industrial Building:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 13507 Lakewood Heights Blvd.

Project Representative: Greg Zillich, Contractor

Committee Recommendation: Unanimously **Approved** as Presented.

Ward 16 – Councilmember Kazy

SPA: Kamms Corners

Far West Design Review Case

THE THE STATE OF THE PARTY OF T

May 5, 2023

FW2023-005 – New parking lot addition: Seeking Final Approval

Project Address: 13507 Lakewood Heights Blvd.

Project Representative: Greg Zillich, Contractor

Committee Recommendation:

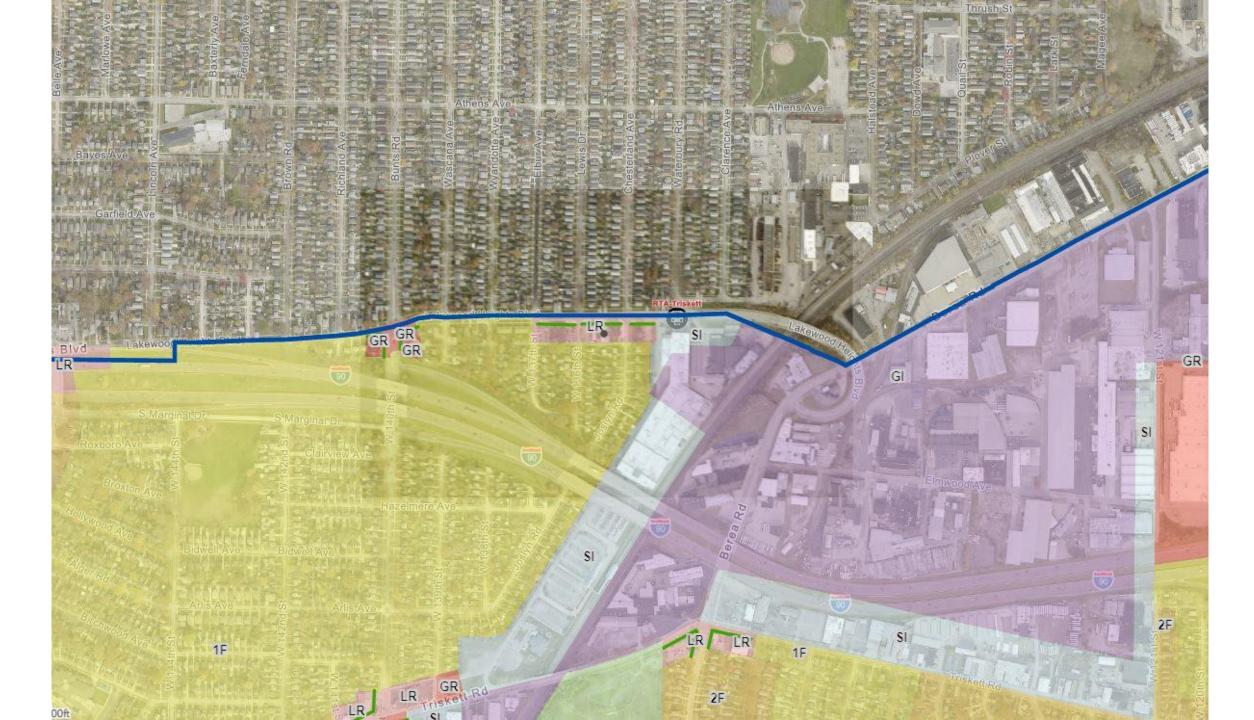
Unanimously **Approved** for Final Design with **Conditions**:

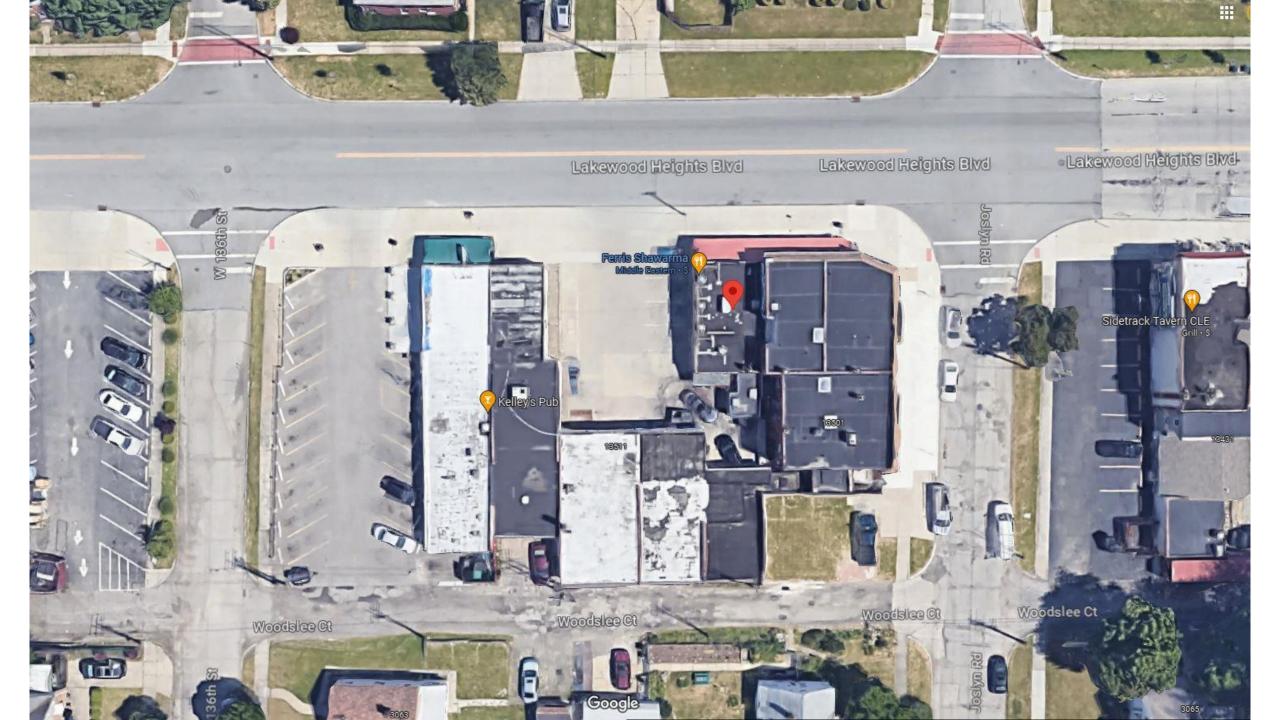
Revise eastern ADA parking lot to show cross-hatching, the loss of one parking space, and planter area; add information to site plan to show tree placement in planter; omit wheel stops at dumpster access.

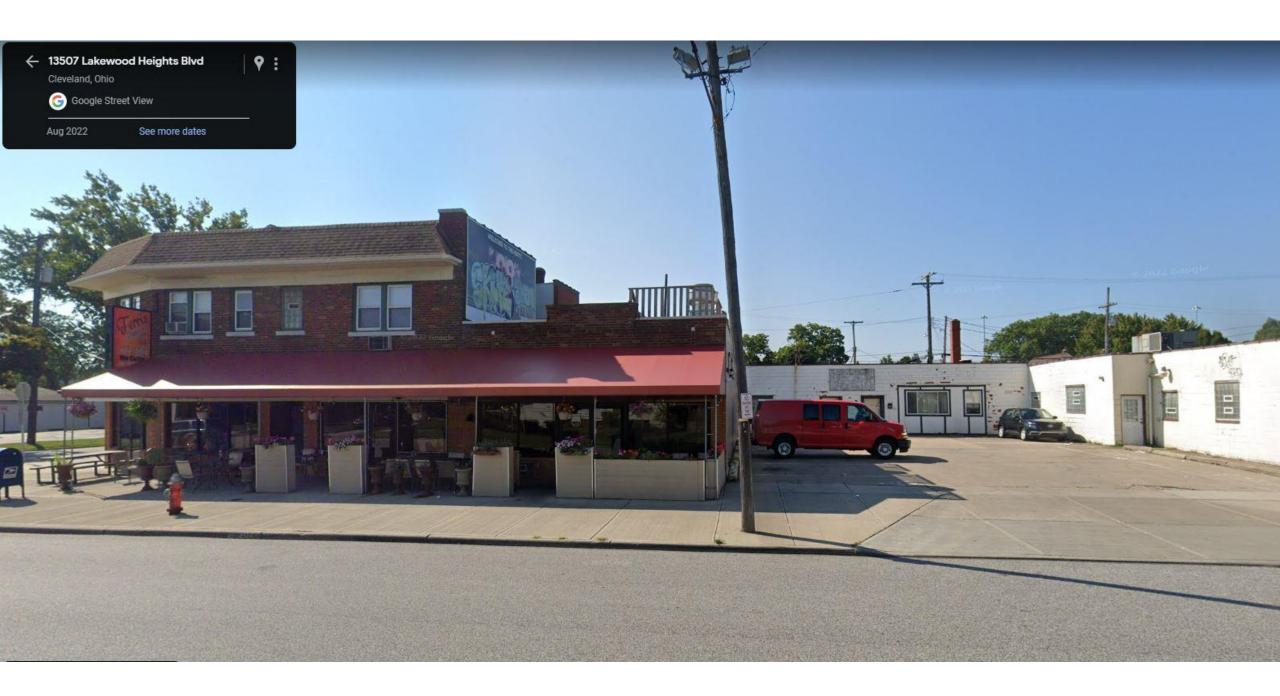
SPA: Kamms Corners

New Parking Lot & Demolition – 13507 Lakewood Hts. Blvd

FW 2023-04 & 05

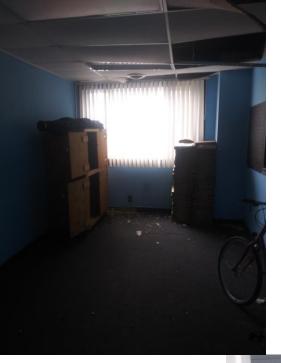












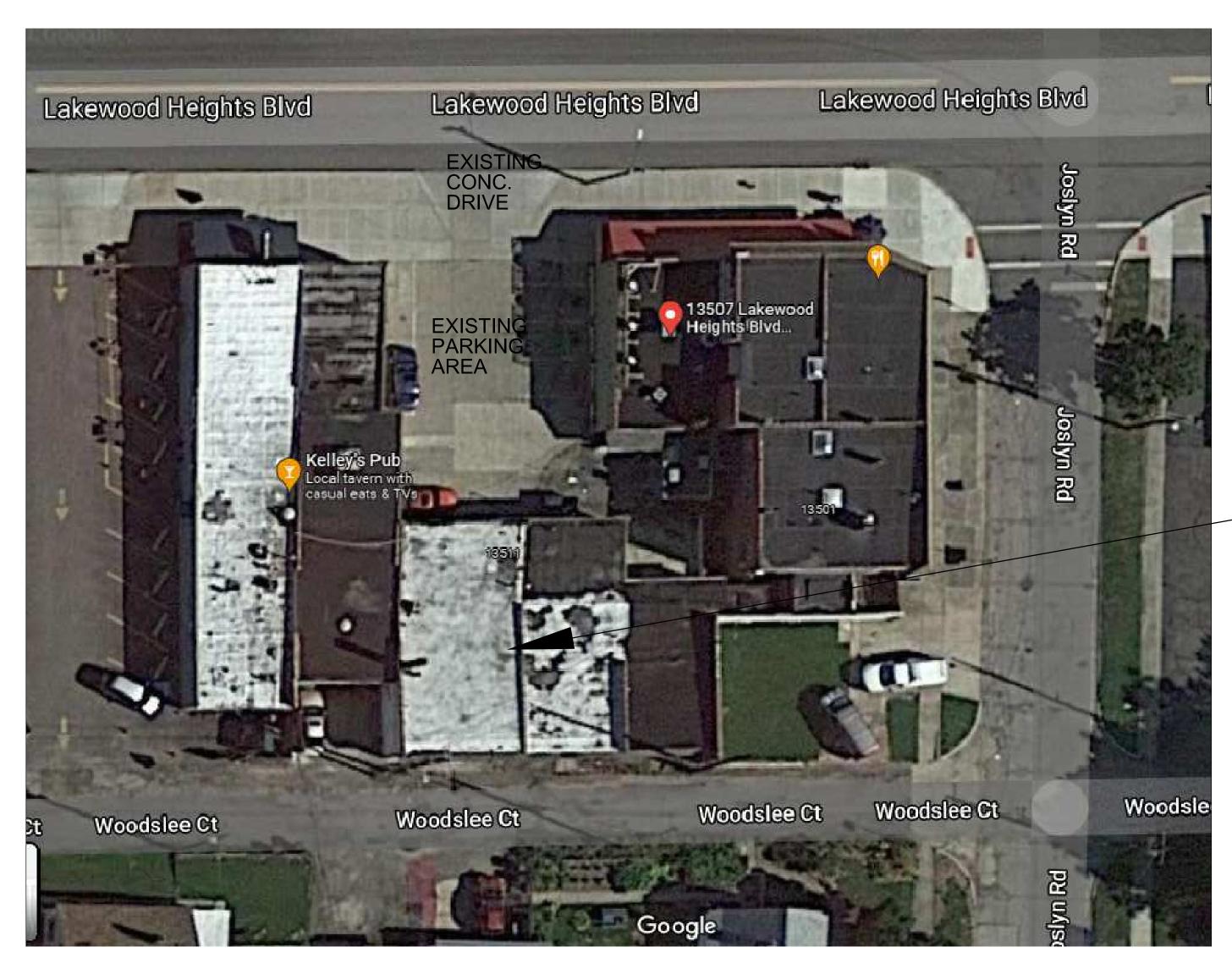






PROPOSED NEW PARKING LOT AREA

13507-21 LAKEWOOD HEIGHTS BLVD



DRAWING INDEX

TITLE SHEET & LOCATION PLAN

EXISTING SITE PLAN PLAN PROPOSED NEW SITE PLAN

CIVIL SITE PLAN

PAVEMENT DETAILS

DRIVE DETAILS

BUILDING TO BE DEMOLISHED SEE DWG. A-1

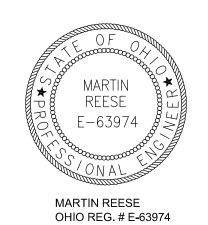
LOCATION PLAN N.T.S.



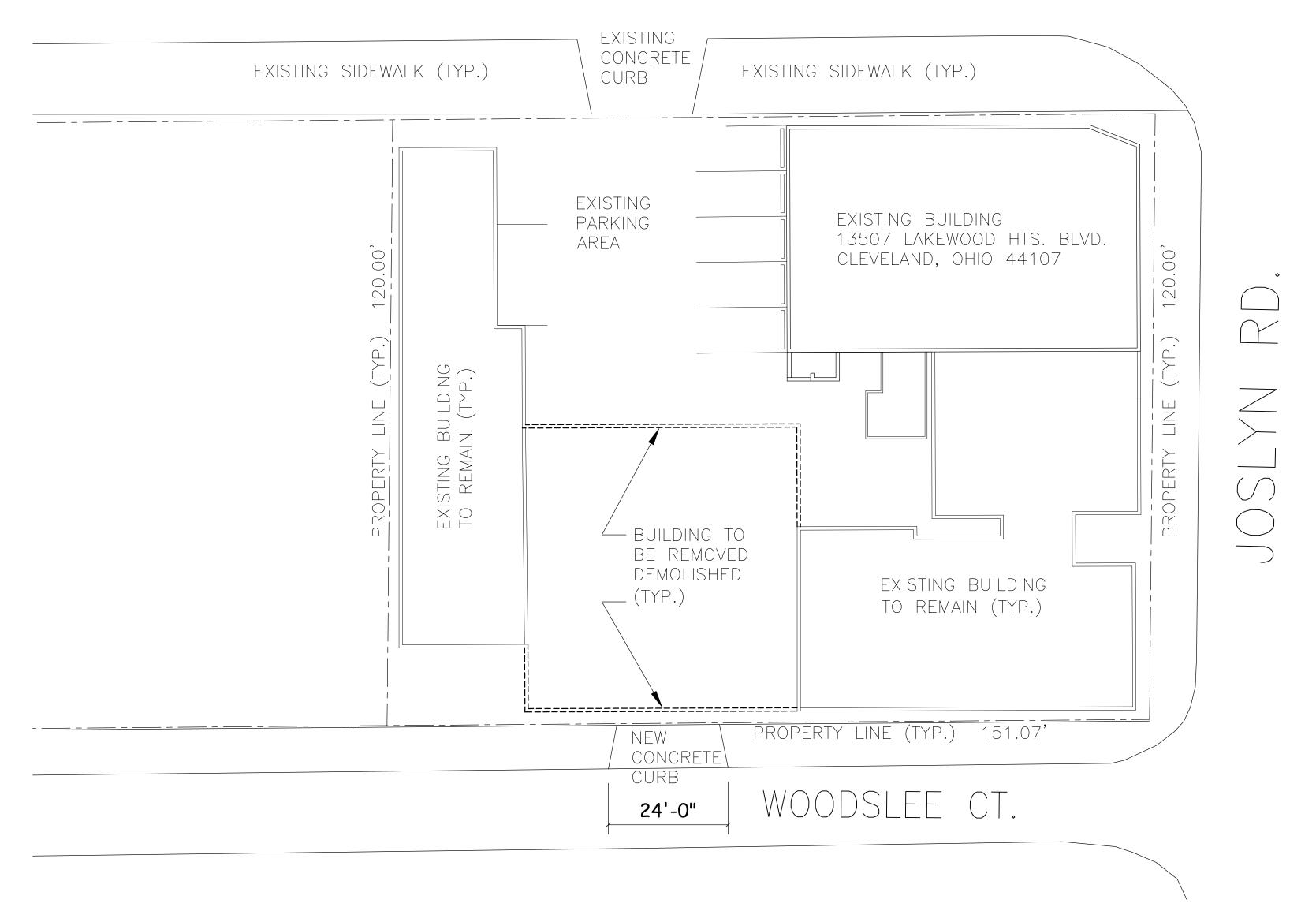
PROPOSED NEW ASPHALT PARKING LOT AREA 13507-21 LAKEWOOD HTS BLVD.

MARTIN REESE - 216-293-0943 3396 MONTICELLO BLVD. CLEVELAND HEIGHTS, OH. 44118

TITLE SHEET AND LOCATION PLAN



LAKEWOOD HTS. BLVD.



EXISTING SITE PLAN

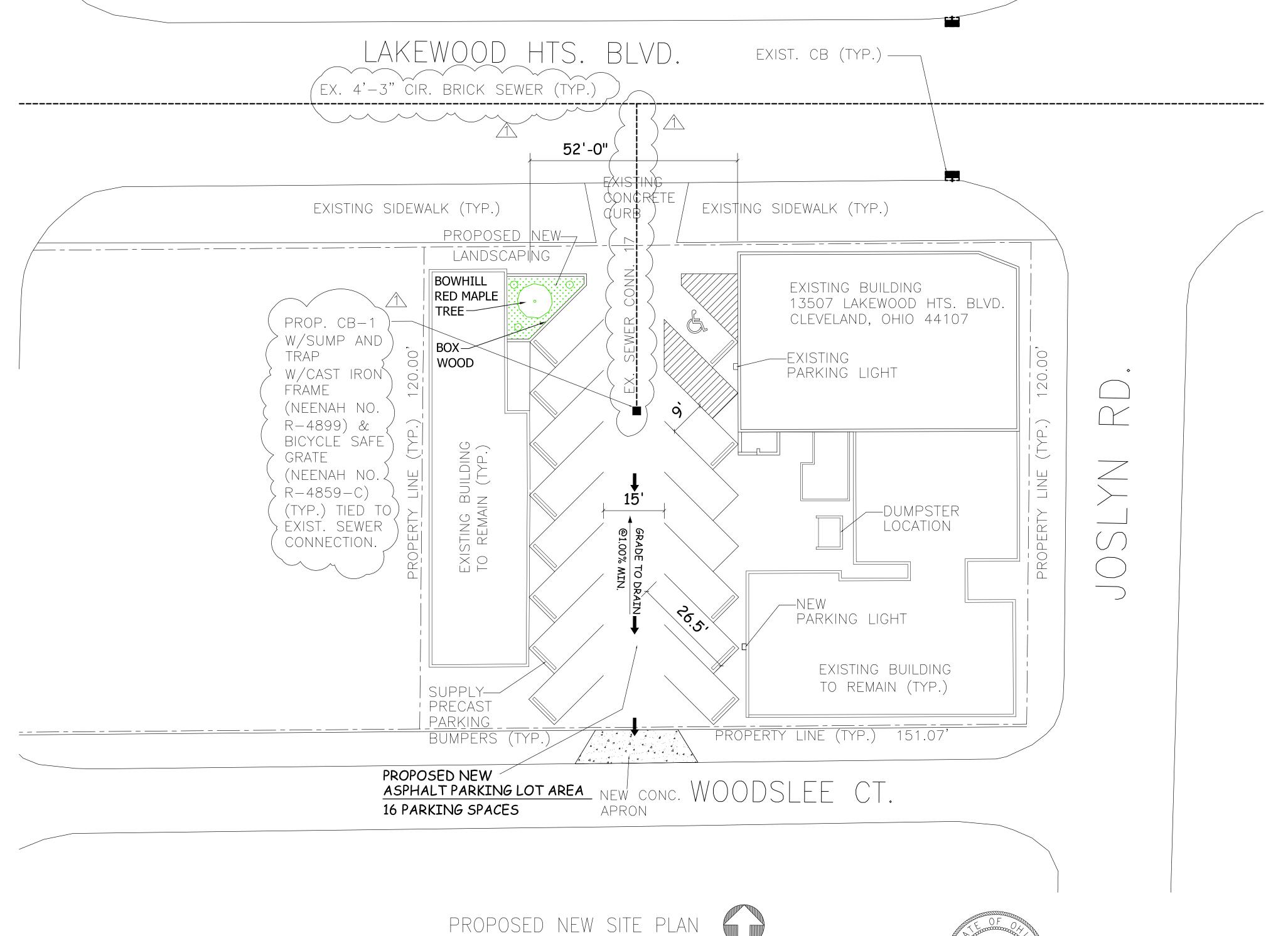
1"=20'-0"



PROPOSED NEW
ASPHALT PARKING LOT AREA
13507-21 LAKEWOOD HTS BLVD.

MARTIN REESE - 216-293-0943 3396 MONTICELLO BLVD. CLEVELAND HEIGHTS, OH. 44118 EXISTING SITE PLAN





ASPHALT PARKING LOT AREA

PROPOSED NEW

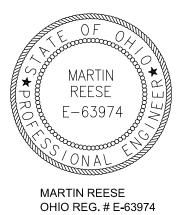
13507-21 LAKEWOOD HTS BLVD.

MARTIN REESE - 216-293-0943 3396 MONTICELLO BLVD. CLEVELAND HEIGHTS, OH. 44118

1"=20'-0"

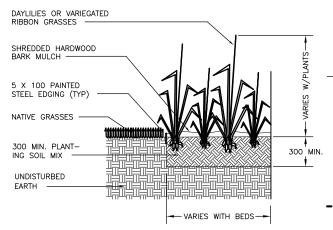
PROPOSED NEW SITE PLAN

NORTH



5-1-2023

A-2



SHRUB PLANTING

GROUNDCOVER BED PLANTING DETAIL

	SYMBOL	#	BOTANICAL NAME	COMMON NAME
	PERENNIALS		HOSTA + (VARIOUS) AS NEEDED	HOSTA + PERENNIALS
	EA	-	EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH

NOTES:

1. THE PARKING SHALL BE DRAINED TO DUTLET TOWARD THE STREET INTO EXISTING STREET CATCH BASINS. VARIANCE MAY BE REQUIRED.

2. CONTRACTOR MUST BE LICENSED WITH THE CITY AND THE BUREAU OF SIDEWALKS.

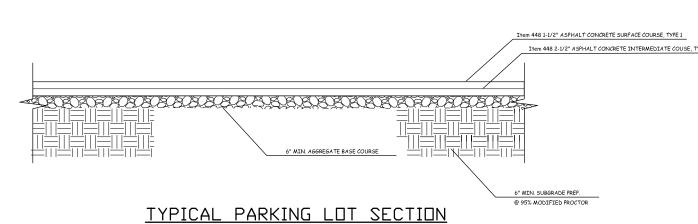
3.. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR REMOVING DIRT AND RUBBISH CAUSED BY THIS WORK. IN

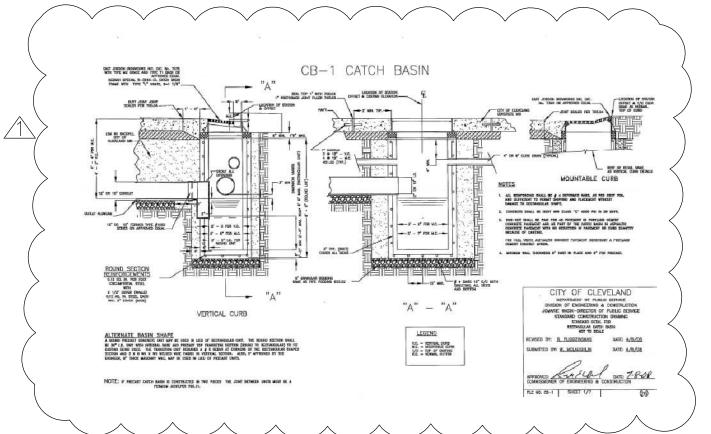
THE EVENT AN OWNER OR CONTRACTOR FAILS TO REMOVED DIRT, RUBBISH, BROKEN STONE, THE CITY WILL DO SO, AND THE COST OF HAULING WILL BE CHARGED TO THE PROPERTY OWNER.

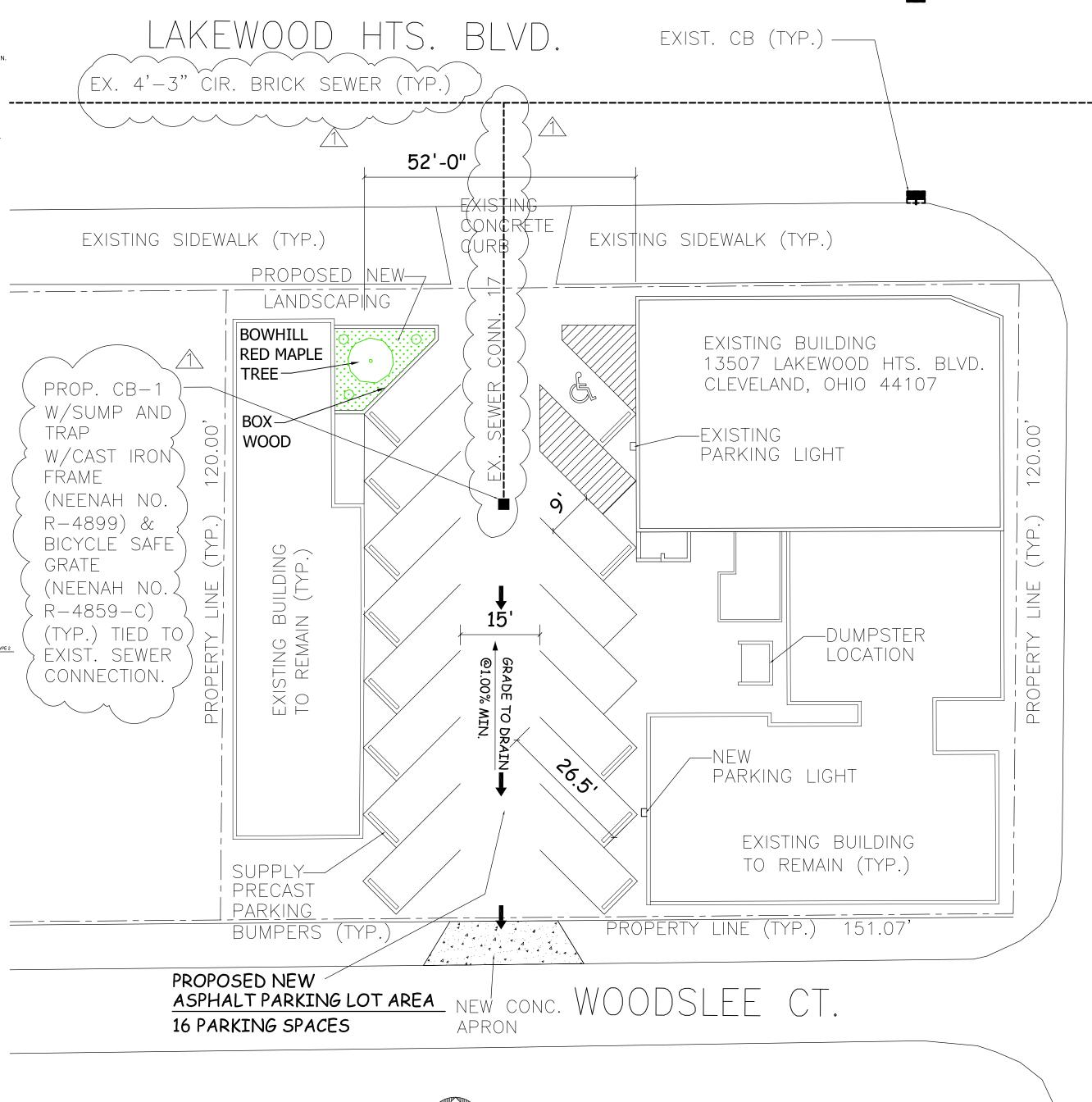
4.. PEDESTRIAN TRAVEL WILL BE ACCOMMODATED ACROSS ANY SIDEWALK WORK AREA.

5. ALL TRENCHES AND CAVITIES SHALL BE PLATED DURING NON-WORKING HOURS, PLATES ARE TO BE RECESSED FROM NOVEMBER 15TH TO MARCH 15TH AND/OR PINNED AND RAMPED AT ALL OTHER TIMES.

6.. SIDEWALK PERMITS ARE REQUIRED FOR ALL SIDEWALKS, DRIVE APRONS & CURB RESTORATIONS.







PROPOSED NEW

ASPHALT PARKING LOT AREA

13507-21 LAKEWOOD HTS BLVD.

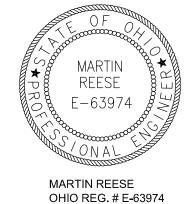
MARTIN REESE - 216-293-0943 3396 MONTICELLO BLVD. CLEVELAND HEIGHTS, OH. 44118

1"=20'-0"

PROPOSED NEW
CIVIL SITE PLAN

NORTH

PROPOSED NEW SITE PLAN



5-1-2023

C-1

May 5, 2023



Committee Recommendation:

Unanimously **Approved** for Final Design with **Conditions**:

Revise eastern ADA parking lot to show cross-hatching, the loss of one parking space, and planter area; add information to site plan to show tree placement in planter; omit wheel stops at dumpster access.

SPA: Kamms Corners

Cleveland City Planning Commission

Staff Report



Far West Design Review Case

THE PERSON OF TH

May 5, 2023

FW2023-007 – Vietnamese Temple Addition New Construction:

Seeking Conceptual Design Approval

Project Address: 4724 West 130th Street

Project Representative: Joey Mannarino, TMG

Note: the Planning Commission Tabled this item on April 21, 2023 as applicant did not attend

the meeting.

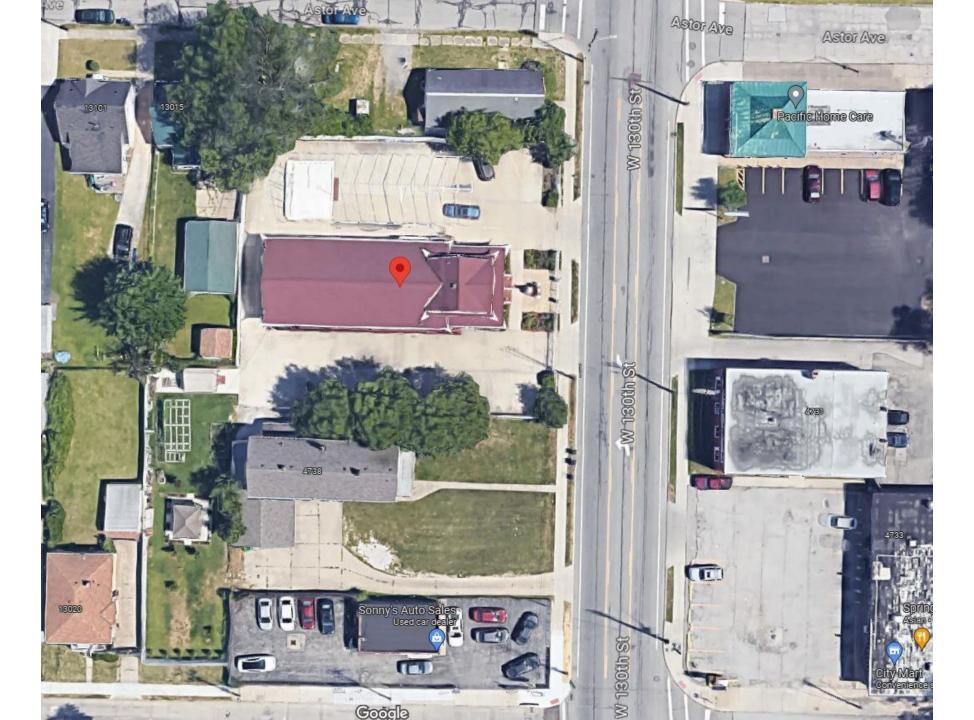
Committee Recommendation:

Unanimously **Approved** Conceptually with **Conditions**:

Need clarity on fence condition; eliminate center curb cut; refine site plan, adding greenspace wherever possible; provide landscaping and lighting plan, also materials, for final approval.

4724 W. 130th Street — Vietnamese Temple Addition











Other Site Photos











Street Context









VIEN QUANG TEMPLE ADDITION 4724 WEST 130th STREET CLEVELAND, OHIO 44135



Address

Address

Phone

e-mail

Consultant

Address

Address

Phone

Fax

e-mail

Consultant

Address

Phone

Fax

e-mail

Consultant

Address

Address

Phone

e-mail

THE ZEITGROUP, LTD.

Description

Date

JOHN H. ZEIT, R.A.

KENT, OHIO 44240

149 SPELL RD.

330-677-5176

Fax

ABBREVIATIONS:

ABV ABOVE ABOVE FINISH FLOOR ACT ACOUSTICAL TILE A/C AIR CONDITIONING ALT ALTERNATE ALUM ALUMINUM AB ANCHOR BOLT ANC ANCHOR

ANOD ANODIZED ARCH ARCHITECT(URAL) ASPH ASPHALT BSMT BASEMENT

BRG BEARING B.M. BENCH MARK BLK BLOCK BLKG BLOCKING BOT BOTTOM

BLDG BUILDING BUR BUILT UP ROOFING

CAB CABINET CB CATCH BASIN C.C. CENTER TO CENTER CER CERAMIC CLG CEILING CT CERAMIC TILE COL COLUMN

CONC CONCRETE CMU CONCRETE MASONRY UNIT CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACT(OR) CJ CONTROL JOINT

C.F. CUBIC FEET C.Y. CUBIC YARD DL DEAD LOAD DIM DIMENSION DN DOWN

DR DOOR DS DOWNSPOUT DWG DRAWING DF DRINKING FOUNTAIN DW DISHWASHER

ELECT ELECTRIC(AL) EQ EQUAL EOUIP EOUIPMENT EXG EXISTING EXH EXHAUST

EXP EXPANSION EXT EXTERIOR EACH WAY FE FIRE EXTINGUISHER

FIN FINISH(ED) FLR FLOOR(ING) FND FOUNDATION FT FOOT FD FLOOR DRAIN

F.O. FINISHED OPENING FTG FOOTING GA GAUGE GC GENERAL CONTRACT(OR)

GL GLASS, GLAZING

GR GRADE, GRADING

HB HOSE BIB HDW HARDWARE HVAC HEATING, VENTILATING, AIR CONDITIONING HM HOLLOW METAL HORIZ HORIZONTAL

HWH HOT WATER HEATER INCL INCLUDE(D)(ING) ID INSIDE DIAMETER INSUL INSULATE(D)(ION)

JC JANITOR'S CLOSET JOINT JST JOIST

INT INTERIOR

LAM LAMINATE(D) LL LIVE LOAD

MANUFACTURE(ER)

MAT'L MATERIAL(S) M.O. MASONRY OPENING MAX MAXIMUM MECH MECHANIC(AL) MTL METAL MIN MINIMUM MISC MISCELLANEOUS

MAS MASONRY

NOM NOMINAL

NIC NOT IN CONTRACT NTS NOT TO SCALE O.C. ON CENTER(S) O/O OUT TO OUT O/ ON, OVER OPG OPENING OPP OPPOSITE OD OUTSIDE DIAMETER

PVMT PAVEMENT PLAST PLASTIC P/L PROPERTY LINE PLYWD PLYWOOD PVC POLYVINYL CHLORIDE PCF POUNDS PER CUBIC FOOT PLF POUNDS PER LINEAL FOOT PSF POUNDS PER SQUARE FOOT

PSI POUNDS PER SQUARE INCH

OVERHEAD/OVERHANG

QT QUARRY TILE

RADIUS REF REFRIGERATOR REV REVISION(S), REVISED RA RETURN AIR R/W RIGHT OF WAY

RD ROOF DRAIN R.O. ROUGH OPENING R.S. ROUGH SAWN SCH SCHEDULE SECT SECTION

SHT SHEET

SIM SIMILAR

SQ SQUARE

SC SOLID CORE

SPEC SPECIFICATION(S)

SS STAINLESS STEEL STD STANDARD

STL STEEL STO STORAGE SD STORM DRAIN STM STORM SEWER STR STRUCTURAL

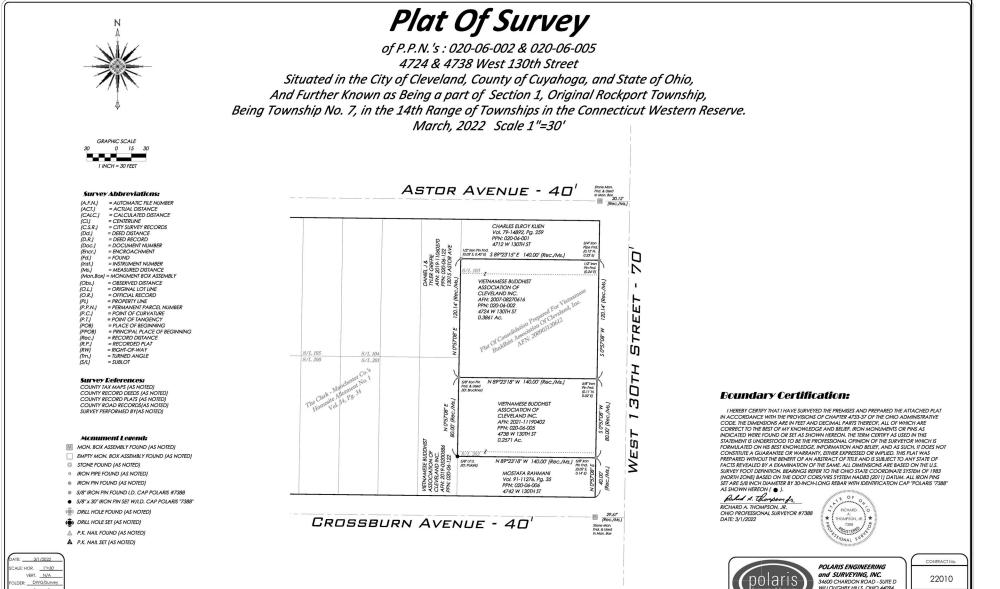
> TEL TELEPHONE TOM TOP OF MASONRY TYP TYPICAL

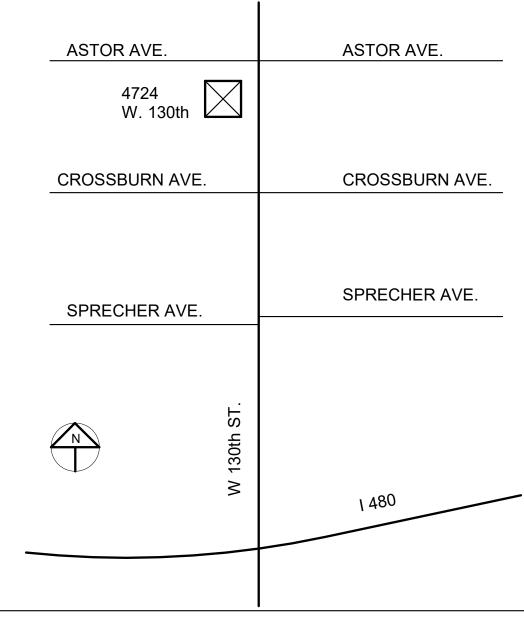
U.N.O. UNLESS NOTED **OTHERWISE** UR URINAL

VERT VERTICAL V.T. VINYL TILE

WC WATER CLOSET WWM WELDED WIRE MESH WH WATER HEATER W/O WITHOUT W/ WITH WD WOOD

NUMBER @ AT





LOCATION MAP

CODE ANALYSIS

OHIO BUILDING CODE 2017 RESIDENTIAL CODE OF OHIO FOR R3 LODGING HOUSE (OBC 310.5.4)

USE GROUPS - PLACE OF WORSHIP EXISTING (A3) A3 COMMUNITY HALL

R3 RESIDENTIAL LODGING HOUSE CONSTRUCTION TYPES - EXISTING BUILDING = 5B (OBC TABLE 601) COMMUNITY HALL = 5B A3/R3 BUILDING = 5B

HEIGHTS & STORIES - COMMUNITY HALL - ALLOWABLE = 40 FEET, 1 STORY PROPOSED = 25 FEET, 1 STORY (OBC TABLE 504.3)

A3/R3 BUILDING - ALLOWABLE = 40 FEET, 3 STORY PROPOSED = 26 FEET, 2 STORY

FLOOR AREAS - COMMUNITY HALL - ALLOWABLE = 6000 SF (OBC TABLE 506.2) PROPOSED = 4537 SF RESIDENTIAL AREA - ALLOWABLE = UL

PROPOSED = 1969 SF OCCUPANCY - COMMUNITY HALL (TABLES AND CHAIRS) = 273 OCCUPANTS RESIDENTIAL = 9 OCCUPANTS (1 PERMANENT, 8 GUESTS) FIRE SUPPRESSION NOT REQUIRED (OBC 903.2.1.3 <300 OCCUPANTS)

(OBC TABLE 508.4) NUMBER OF EXITS - COMMUNITY HALL - REQ'D = 2 PROPOSED = 4 R3 - 1 REQ'D (PER ORC) PROPOSED = 1 EXIST ACCESS TRAVEL DISTANCE - COMMUNITY HALL - ALLOWABLE = 200

COMMON PATH OF EGRESS TRAVEL - ALLOWABLE = 200' PROPOSED = 90'

MIXED USE OCCUPANCY A3 & R3 REQUIRES 2 HOUR FIRE SEPARATION

THE TEMPLE BUILDING AT 4724 W. 130thST. IS AN EXISTING BUILDING OF WOOD FRAME CONSTRUCTION. THE OWNER, THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND, OWNS THE PROPERTY TO THE SOUTH (4738 W. 130th) WHICH HAS A RESIDENCE ON IT AND A PIECE OF PROPERTY TO THE SOUTH WEST WHICH HAS STREET ACCESS TO CROSSBURN AVE BUT NO STREET ADDRESS.

> THE OWNER PROPOSES TO DEMOLISH THE HOUSE AT 4738 AND USE THE LAND TO BUILD AN ADDITION TO THE TEMPLE. THE ADDITION WILL CONSIST OF A ONE STORY ASSEMBLY HALL AND A 2 STORY ASSEMBLY AND RESIDENTIAL BUILDING.

THE 2 STORY BUILDING WILL CONTAIN A COMMERCIAL KITCHEN AND ASSOCIATED TOILET ROOMS FOR THE ASSEMBLY HALL. THE REMAINDER WILL BE A RESIDENTIAL FACILITY.

PROJECT DESCRIPTION

THE ONE STORY HALL WILL BE APPROXIMATELY 80 FEET x 50 FEET. THE ATTACHED 2 STORY BUILDING WILL BE APPROXIMATELY 20 FEET x 60 FEET. THE ADJACENT PROPERTY ON THE SOUTH WEST WILL BE USED FOR PARKING

AND WILL HAVE A DRIVE TO CROSSBURN AVE.

A1A COVER SHEET

SITE PLAN

LIFE SAFETY 3 DIMENSIONAL VIEW

BLDG B&C FLOOR PLAN

BUILDING C FLOOR PLANS

REFLECTED CEILING PLANS

DETAILS

TOILET ROOM DETAILS

SCHEDULES

MECHANICAL FLOOR PLANS

PLUMBING GENERAL INFORMATION

DOMESTIC PLUMBING PLAN

PLUMBING SCHEDULES & DETAILS

ROOF FRAMING

SITE SURVEY

BLDG B FLOOR PLAN

ELEVATIONS

BUILDING SECTIONS

WALL SECTIONS

A9

ELECTRICAL GENERAL INFORMATION

ELECTRICAL SITE PLAN LIGHTING PLANS

POWER PLANS DISTRIBUTION DIAGRAMS

MECHANICAL GENERAL INFORMATION

MECHANICAL SCHEDULES & DETAILS

SANITARY PLUMBING PLAN

FOUNDATIONS & FLOOR FRAMING

INDEX OF DRAWINGS

ZEIT 8327

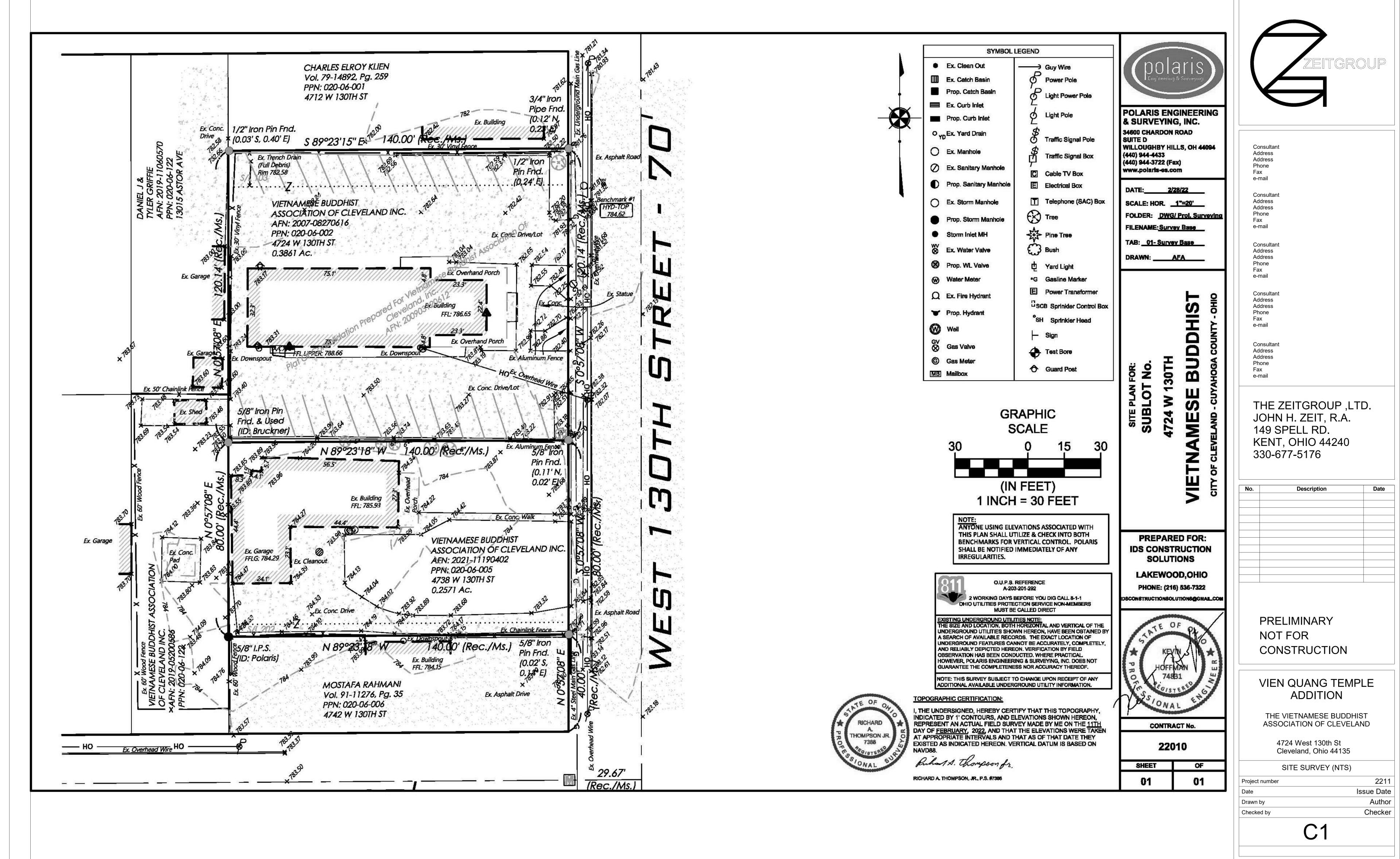
> John H. Zeit LICENSE # 8608327 **EXPIRATION DATE 12-31-23**

> > VIEN QUANG TEMPLE **ADDITION**

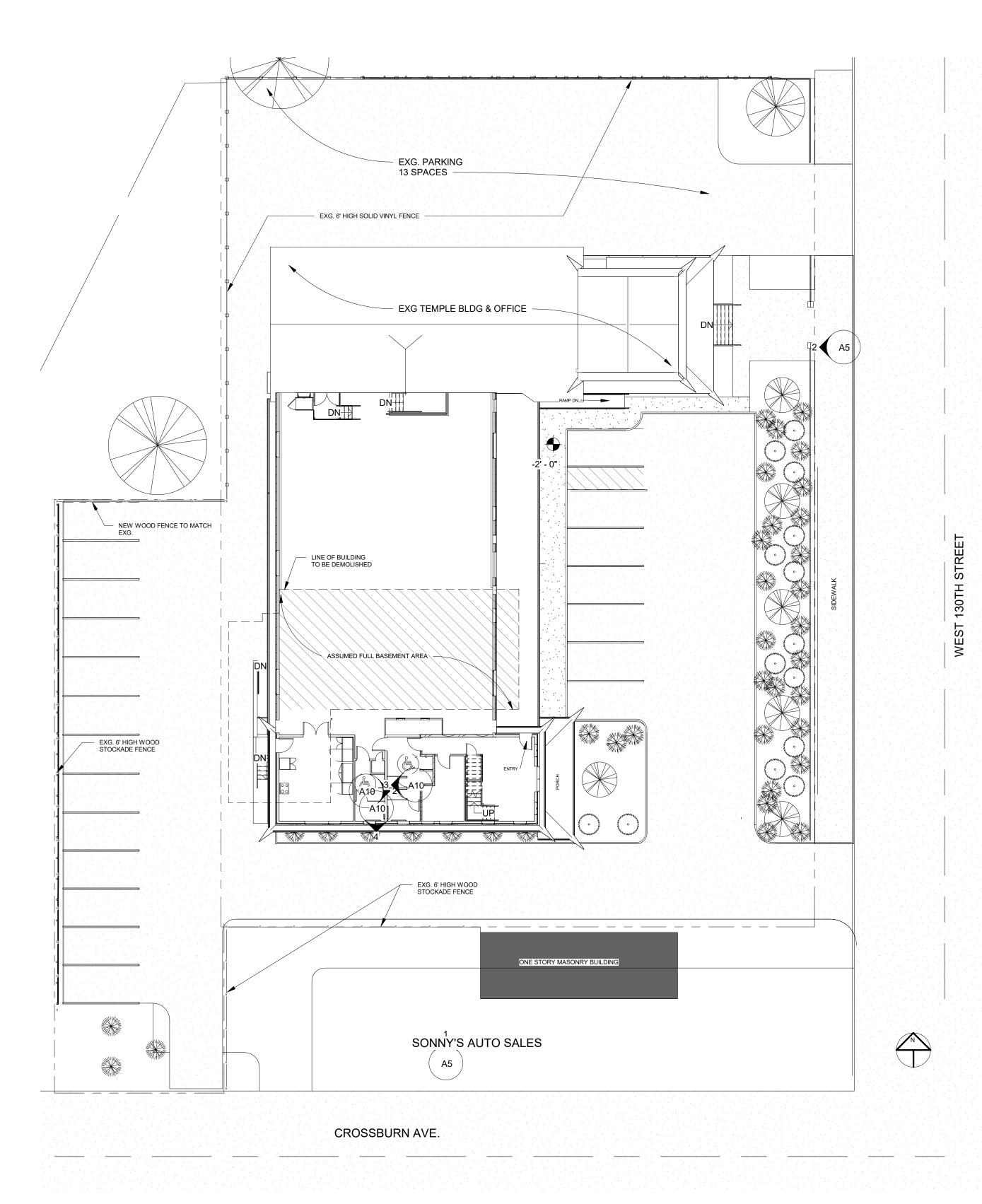
THE VIETNAMESE **BUDDHIST ASSOCIATION** OF CLEVELAND 4724 West 130th St Cleveland, Ohio 44135

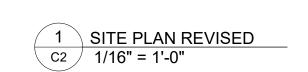
COVER 2211 Project number Issue Date Drawn by Author Checked by Checker

Scale



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Consultant Address Address Phone Fax

Consultant Address Address Phone Fax e-mail

THE ZEITGROUP ,LTD. JOHN H. ZEIT, R.A. 149 SPELL RD. KENT, OHIO 44240 330-677-5176

No.	Description	Date

PRELIMINARY
NOT FOR
CONSTRUCTION

VIEN QUANG TEMPLE ADDITION

THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND

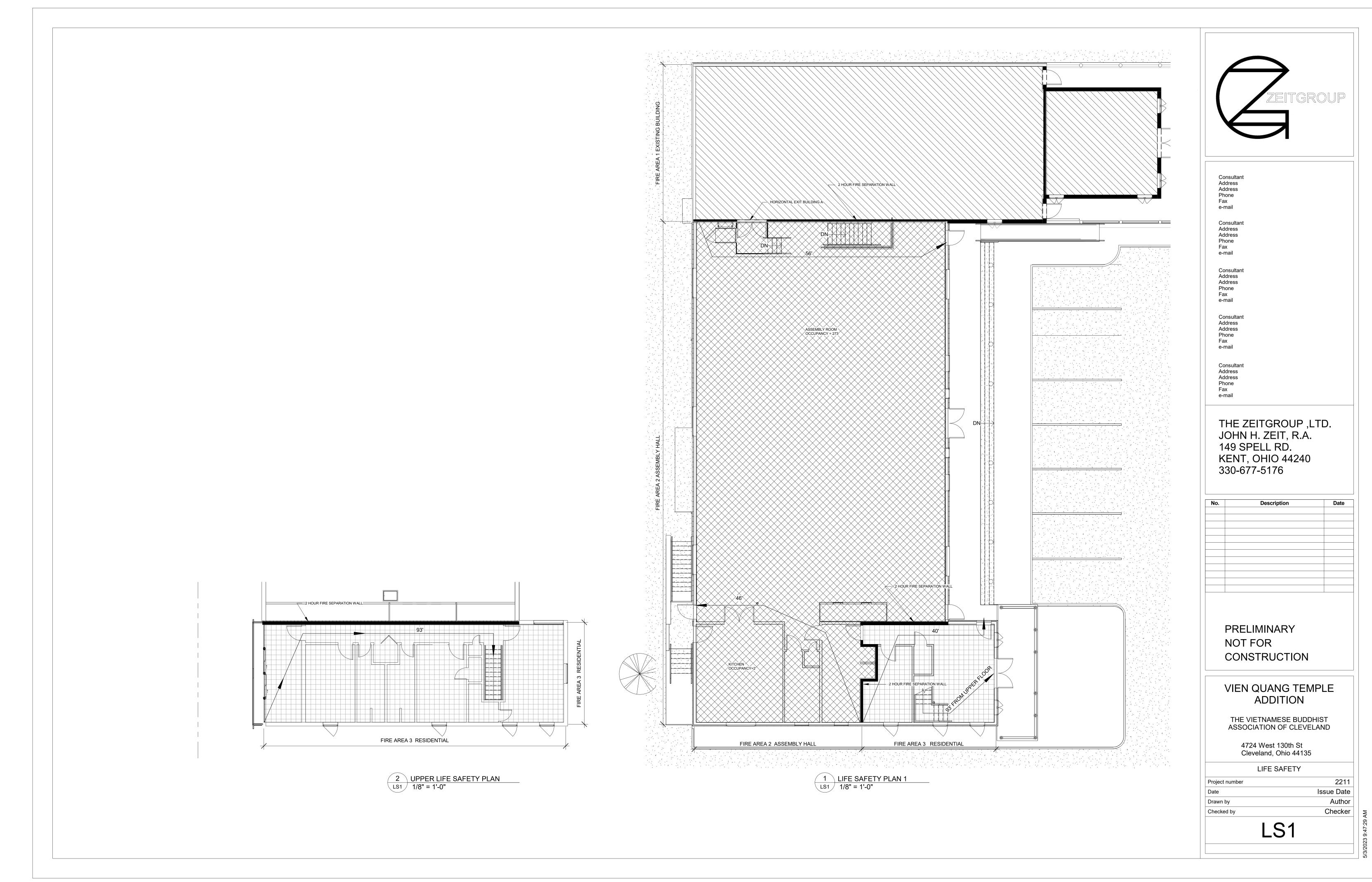
4724 West 130th St Cleveland, Ohio 44135

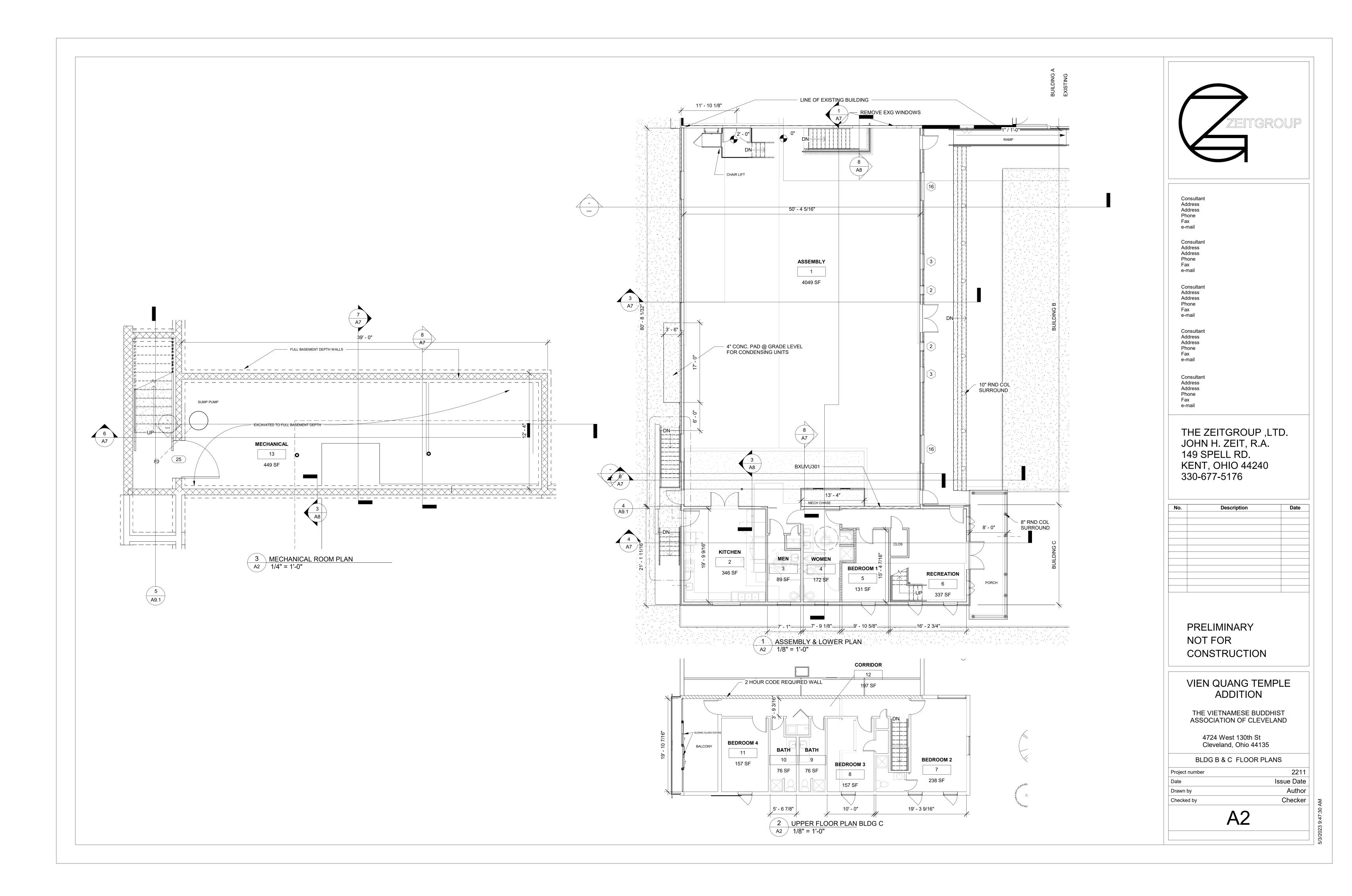
SITE PLAN

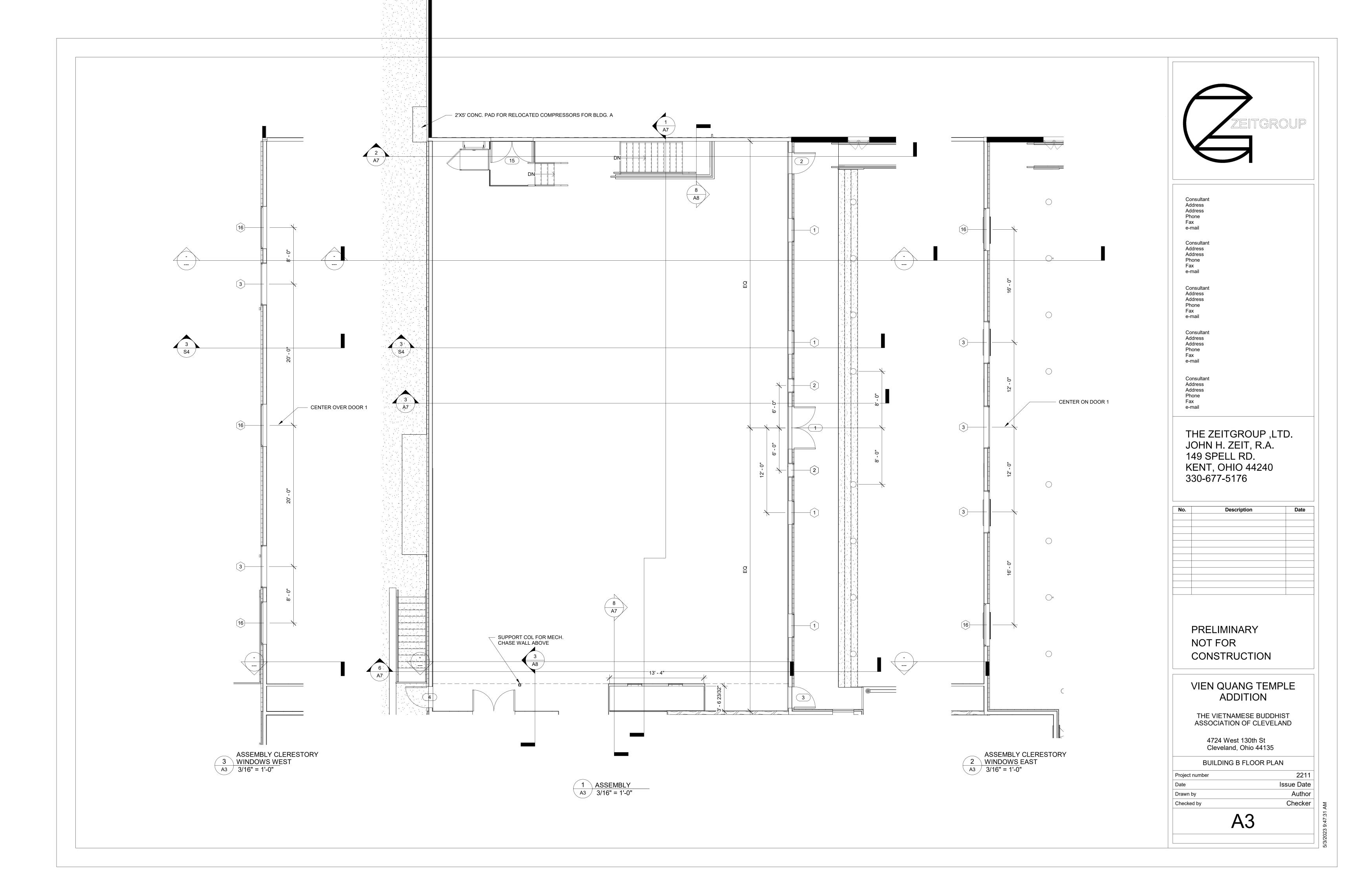
Project number	2211
Date	Issue Date
Drawn by	Author
Checked by	Checker

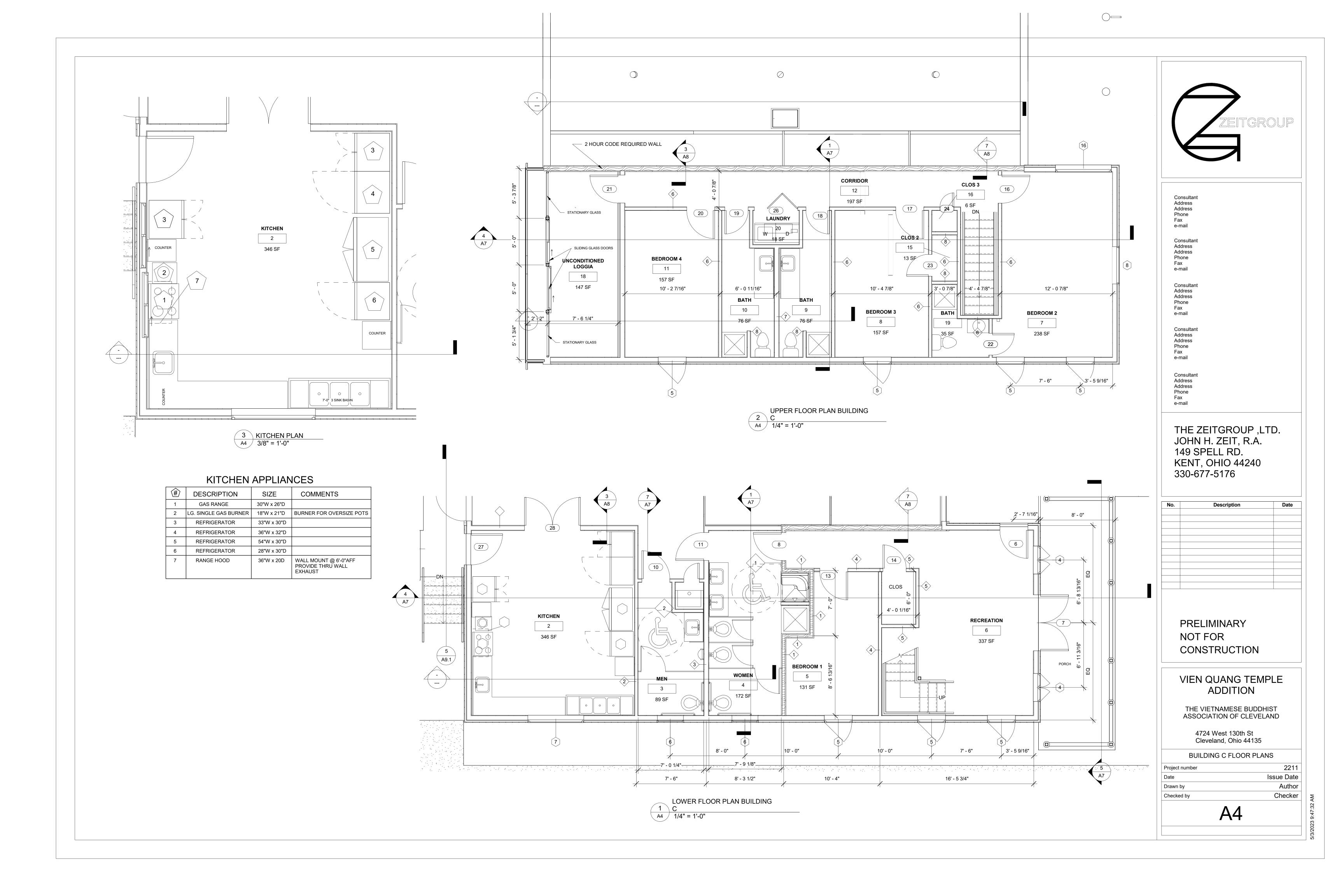
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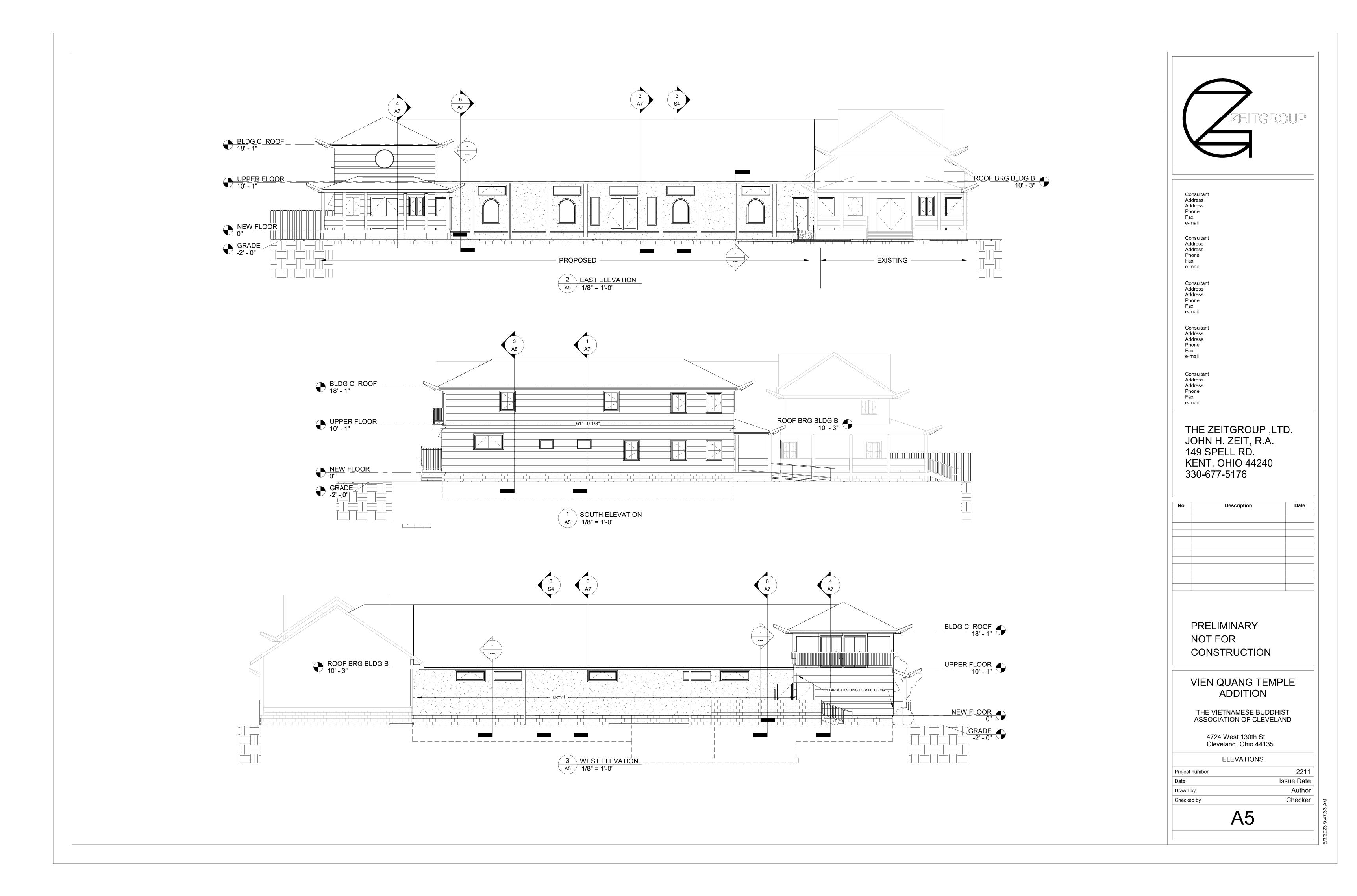
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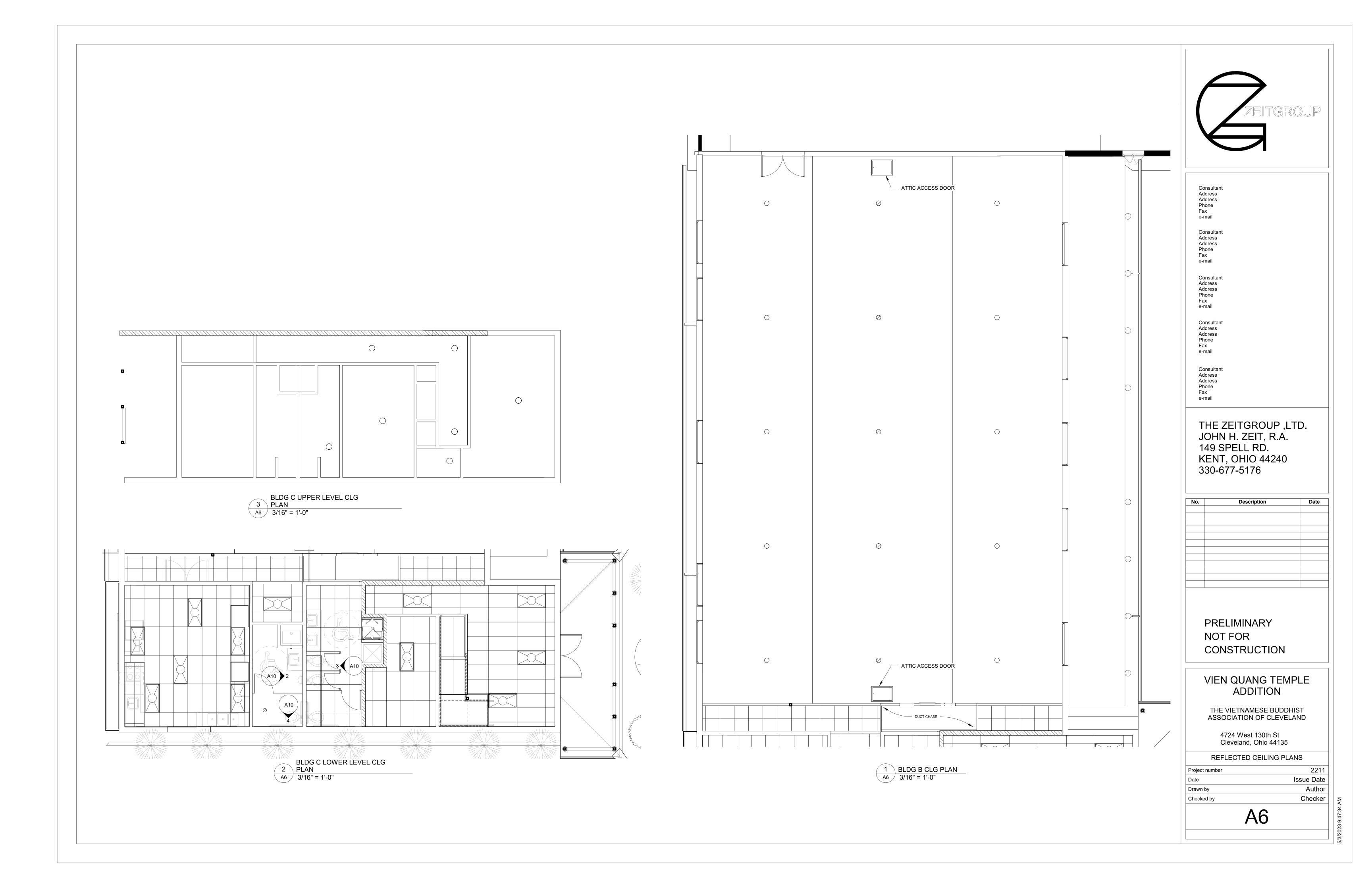


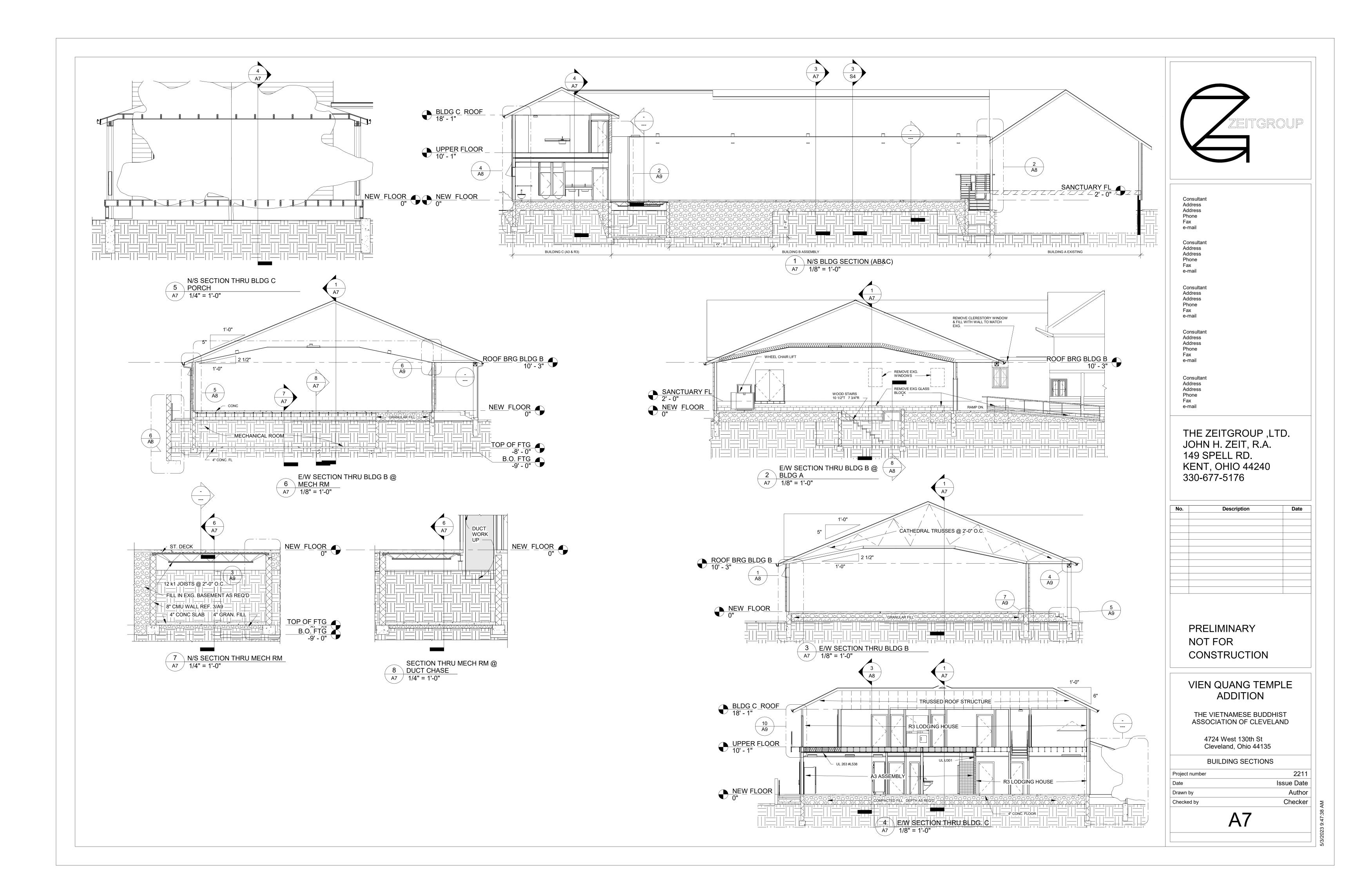


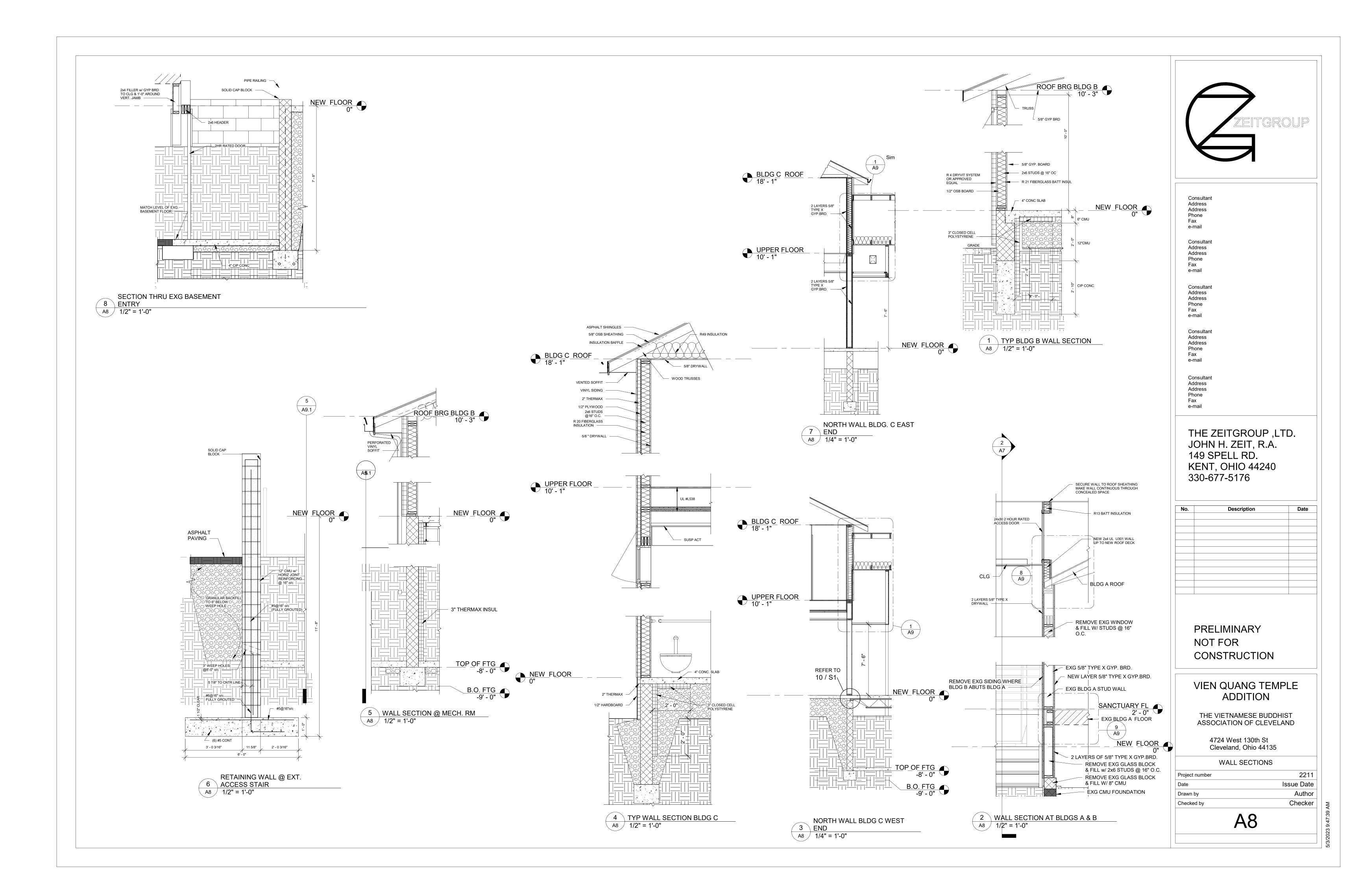


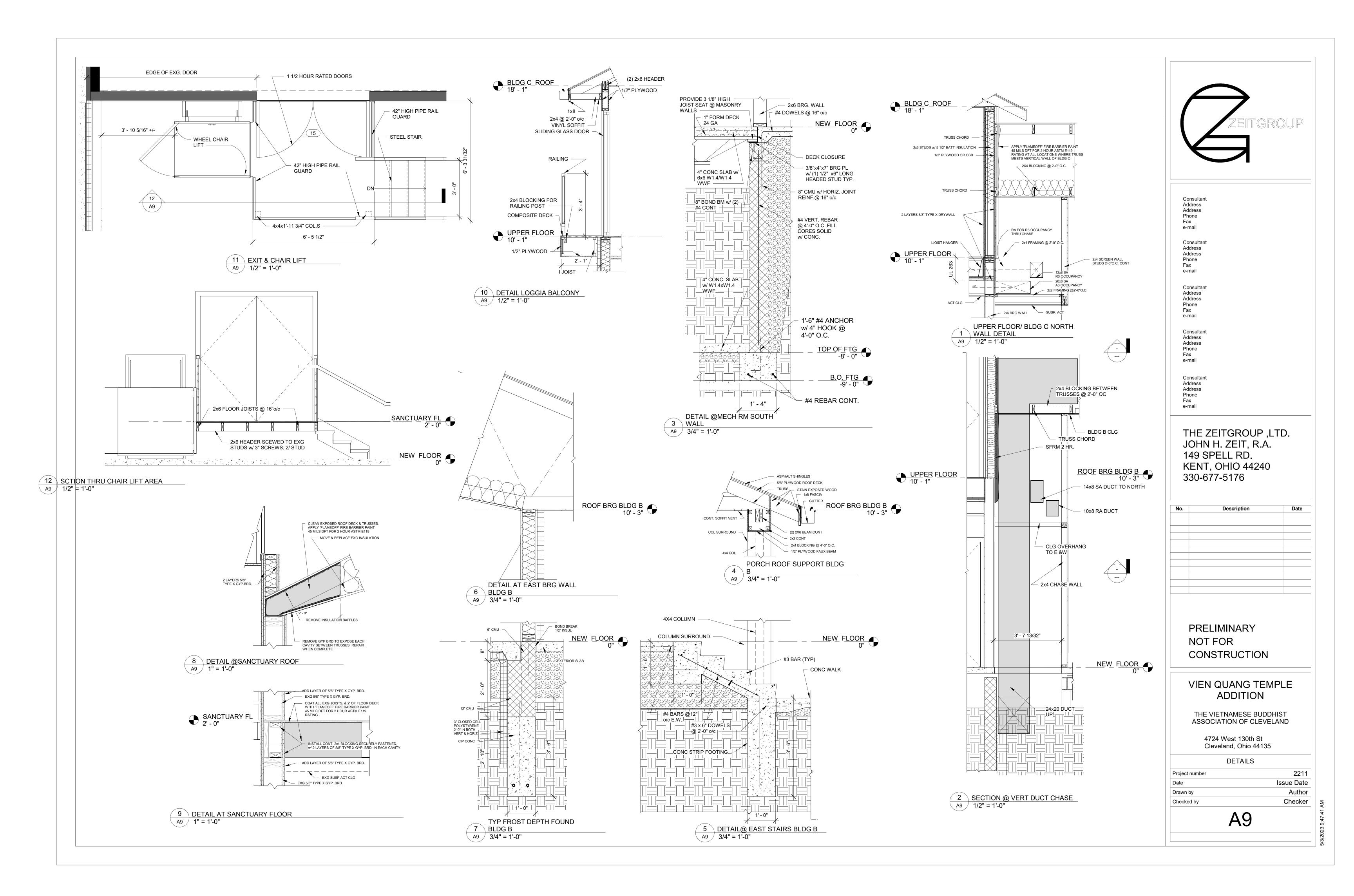


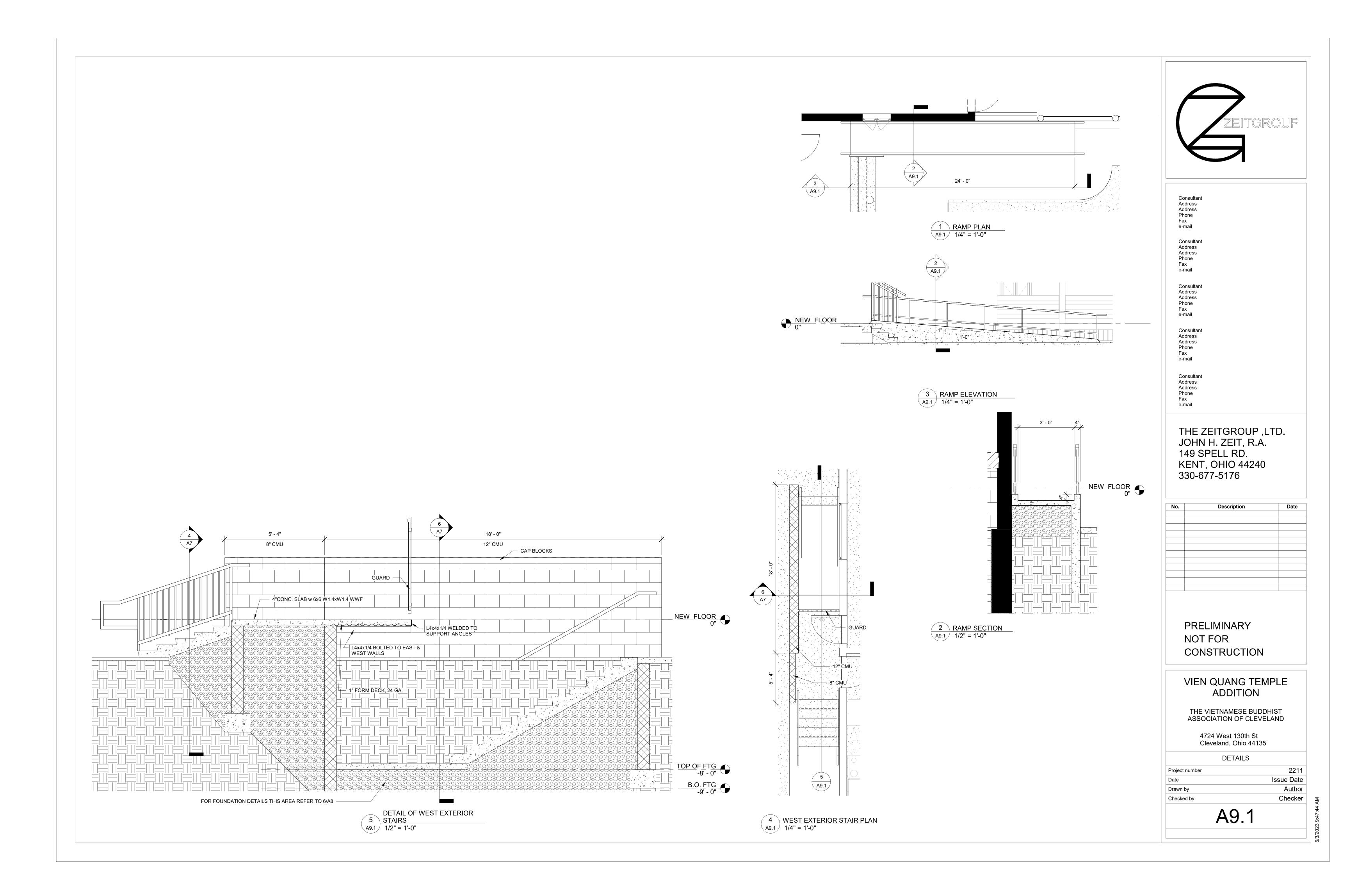


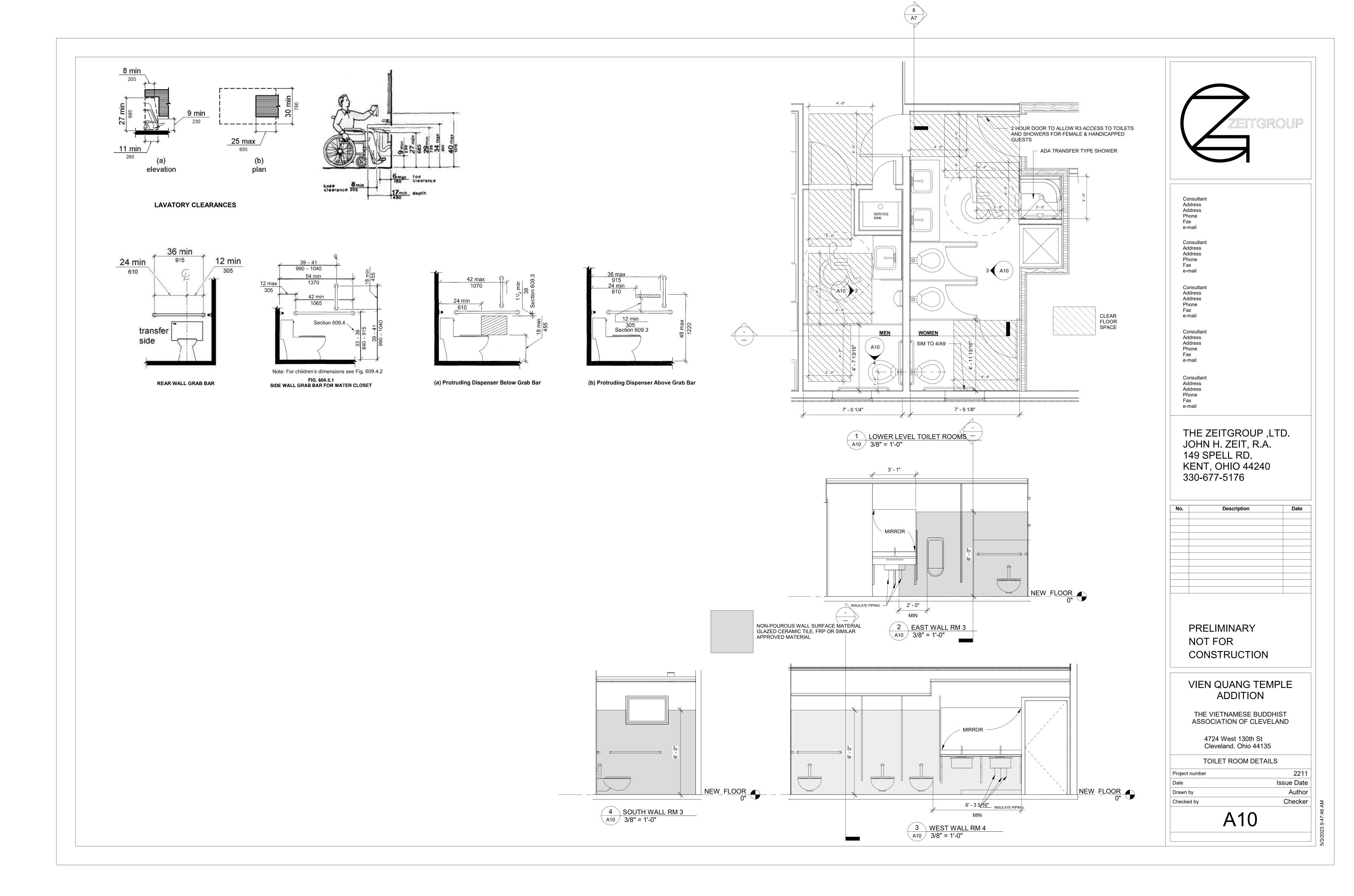












Number	Name	Area	Floor Finish	Base Finish	Wall Finish	Ceiling Height	Ceiling Finish	Comments
Number	Name	Alea	FIOOI FIIIISII	Dase Fillisii	VVali FilliSii	Celling Height	Celling Finish	Comments
1	ASSEMBLY	4049 SF						
2	KITCHEN	346 SF	EPOXY	EPOXY	FRP		ACT	
3	MEN	89 SF	CERAMIC TILE	CERAMIC TILE	FRP PAINT		ACT	
4	WOMEN	172 SF	CERAMIC TILE	CERAMIC TILE	FRP PAINT		ACT	
5	BEDROOM 1	131 SF	CARPET	WOOD	PAINT		ACT	
6	RECREATION	337 SF	CARPET	WOOD	PAINT		ACT	
7	BEDROOM 2	238 SF	CARPET	WOOD	PAINT		PAINT ON GYP BRD	
8	BEDROOM 3	157 SF	CARPET	WOOD	PAINT		PAINT ON GYP BRD	
9	BATH	76 SF	CERAMIC TILE	CERAMIC TILE	FRP PAINT	7' - 8"	PAINT ON GYP BRD	
10	BATH	76 SF	CERAMIC TILE	CERAMIC TILE	FRP PAINT		PAINT ON GYP BRD	
11	BEDROOM 4	157 SF	CARPET	WOOD	PAINT		PAINT ON GYP BRD	
12	CORRIDOR	197 SF	CARPET	WOOD	PAINT		PAINT ON GYP BRD	
13	MECHANICAL	449 SF	PAINT CONC					
15	CLOS 2	13 SF	CARPET	WOOD	PAINT		PAINT ON GYP BRD	
16	CLOS 3	6 SF	CARPET	WOOD	PAINT		PAINT ON GYP BRD	
18	UNCONDITIONE D LOGGIA	147 SF	EPOXY				PAINT ON GYP BRD	
19	BATH	35 SF	CERAMIC TILE	CERAMIC TILE	PAINT		PAINT ON GYP BRD	
20	LAUNDRY	18 SF	EPOXY	WOOD	PAINT		PAINT ON GYP BRD	

Family and Type

1 4 Window-Fixed-Round-Top: 30" x 60"

Mark Count

DOOR HARDWARE SCHEDULE

No

Yes

Yes

PANIC

No

Yes

KICK

No

Yes

LOCK SET | CLOSER | PLATE | HDW

No

DBL KEY DEAD Yes

DBL KEY DEAD Yes

DBL KEY DEAD

BOLT

BOLT

BOLT

PASSAGE | DBL KEY DEAD

PASSAGE | DBL KEY DEAD

PASSAGE DBL KEY DEAD

BOLT

BOLT

DBL KEY DEAD

LATCH

SET

PIN

HINGES

2 3-S.S. ROLLER BRG LOOSE

NON-REMOVABLE PIN

NON-REMOVABLE PIN

NON-REMOVABLE PIN

NON-REMOVABLE PIN

NON-REMOVABLE PIN

NON-REMOVABLE PIN

5 3- S.S. ROLLER BRG

6 3- S.S. ROLLER BRG

8 2- PIVOT HINGE SETS

9 3- S.S. ROLLER BRG

10 6-S.S. ROLLER BRG

11 3- S.S. ROLLER BRG

12 3- S.S. ROLLER BRG

13 2- BUTT HINGE

1 3-S.S. ROLLER BRG LOOSE PASSAGE

3 3-S.S. ROLLER BRG LOOSE PRIVACY

4 6-S.S. ROLLER BRG LOOSE PASSAGE

7 3-S.S. ROLLER BRG LOOSE PRIVACY

SET

WEATHER

Comments

FLOOR BOLT & HEAD BOLT ON

FLOOR BOLT & HEAD BOLT ON

FLOOR BOLT & HEAD BOLT ON

NON-LATCH SET LEAF

NO EXTERIOR HANDLE

NON-LATCH SET LEAF

NON-LATCH SET LEAF

SLIDING TRACK AND PULL

JAMB PUSH/ STRIP &

Yes Yes

Yes

Yes

Yes

Yes

Yes

SILENCER PULL THRESHOLD

No

Yes

Yes

Yes

1	4	vvindow-	-rixea-Rour	10-10p: 30	JXOU		ა -	4 ;	o - U	'	0 - 0		
2	2	Fixed: 2	4" x 72"				2' -	0" (6' - 0"		7' - 0"		
3	5	Fixed: 7	2X24				6' -	0" 2	2' - 0"	,	9' - 4"		
4	4	Window	-Casement-	Double: 3	6X48"		3' -	0" 4	4' - 0"	(6' - 6"	EXG SOME REMOVED	ТОВ
4	5	Window-	-Casement-	Double: 3	6X48"		3' -	0" 4	4' - 0"		7' - 0"		
5	1	Window- 48"	-Casement-	Single_Le	eft: 36" x	(3' -	0" 4	4' - 0"		4' - 8"		
5	4	Window- 48"	-Casement-	Single_Le	eft: 36" x	(3' -	0" 4	4' - 0"		6' - 8"		
5	2	Window- 48"	-Casement-	Single_Le	eft: 36" x	(3' -	0" 4	4' - 0"		7' - 0"		
6	2	Fixed: 3	6" x 24"				3' -	0" 2	2' - 0"		7' - 0"		
7	1	Window	-Awning-Sin	gle.0001:	36" x 7	2"	6' -	0" 3	3' - 0"		8' - 0"		
8	1	Window	-Fixed-Rour	nd: 48" Dia	ameter		4' -	0" 4	4' - 0"	6' -	11 25/32"		
16	1	Window	-Awning-Sin	ngle.0001:	72"x24	"	6' -	0" 2	2' - 0"		5' - 6"	UPPER LEV C	EL B
16	5	Window	-Awning-Sin	gle.0001:	72"x24	"	6' -	0" 2	2' - 0"		9' - 4"	<varies></varies>	
Grand t	otal: 37				DOOR	SCH	EDUL	E					
			Door				Frar	ne					
Mark	Width	Height		Material	Finish	Mat	erial	Finish	Hard	ware	С	omments	
	1	<u> </u>		I	I.	-		<u> </u>					
1	6' - 0"	7' - 0"	2"			НМ		PAINT	3	3			
2	3' - 0"	6' - 8"	2"			НМ		PAINT		5			
3	3' - 0"	6' - 8"	2"			НМ		PAINT		5			
4	3' - 0"	6' - 8"	2"	НМ	PAINT	НМ		PAINT	6	3			
6	3' - 0"	6' - 8"	2"	НМ	PAINT	НМ		PAINT	1	1	2 HOUR	FIRE RATING	}
7	6' - 0"	7' - 0"	2"						1	0			
8	3' - 0"	6' - 8"	2"						7	7			
	+										+		

WINDOW SCHEDULE

3' - 4" 5' - 0" 6' - 6"

			Door		Frame				
Mark	Width	Height	Thickness	Material	Finish			Hardware	Comments
1	6' - 0"	7' - 0"	2"			HM	PAINT	8	
2	3' - 0"	6' - 8"	2"			HM	PAINT	5	
3	3' - 0"	6' - 8"	2"			HM	PAINT	5	
4	3' - 0"	6' - 8"	2"	HM	PAINT	HM	PAINT	6	
6	3' - 0"	6' - 8"	2"	HM	PAINT	HM	PAINT	11	2 HOUR FIRE RATING
7	6' - 0"	7' - 0"	2"					10	
8	3' - 0"	6' - 8"	2"					7	
10	3' - 0"	6' - 8"	2"					2	
11	3' - 0"	6' - 8"	2"					2	
12	1' - 8"	6' - 8"	2"					1	
13	3' - 0"	6' - 8"	2"					1	
14	2' - 6"	6' - 8"	2"					1	
15	6' - 0"	6' - 8"	2"	НМ	PAINT	НМ	PAINT	4	2 HOUR FIRE RATING
16	3' - 0"	6' - 8"	2"					3	
17	3' - 0"	6' - 8"	2"					3	
18	2' - 6"	6' - 8"	2"						
19	2' - 6"	6' - 8"	2"						
20	3' - 0"	6' - 8"	2"						
21	3' - 0"	6' - 8"	2"						
22	2' - 4"	6' - 8"	2"	HC WOOD	STAIN	WOOD		1	
23	2' - 4"	6' - 8"	2"	HC WOOD	STAIN	WOOD		1	
24	1' - 6"	6' - 8"	2"					1	
25	4' - 0"	7' - 0"	2"	НМ	PAINT	НМ	PAINT	12	
26	4' - 8"	6' - 8"	2"	HC WOOD		WOOD			BIFOLD WOOD
27	3' - 4"	6' - 8"	2"	НМ	PAINT	НМ	PAINT		
28	6' - 0"	6' - 8"	2"						
29	3' - 4"	6' - 8"	2"	НМ	PAINT	НМ	PAINT		2 HOUR FIRE RATING



Address Phone

> Consultant Address Address Phone

> > e-mail

Consultant Address Phone Fax

e-mail

Consultant Address Address Phone Fax

e-mail

Address Address Phone Fax

Comments

THE ZEITGROUP ,LTD. JOHN H. ZEIT, R.A. 149 SPELL RD. KENT, OHIO 44240 330-677-5176

No.	Description	Date

PRELIMINARY NOT FOR CONSTRUCTION

VIEN QUANG TEMPLE **ADDITION**

THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND

4724 West 130th St Cleveland, Ohio 44135

SCHEDULES Project number Issue Date Drawn by Author

Checked by

A11

2211

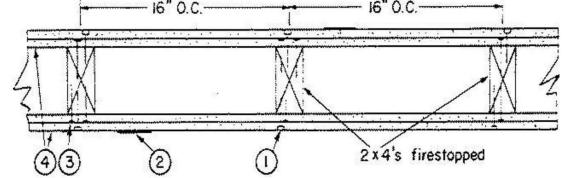
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Design No. **U301** February 3, 2023

Bearing Wall Rating — 2 Hr. Finish Rating — 66 Min.

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



2. **Joints** — Exposed joints covered with joint compound and paper tape. Joint compound and paper tape may be omitted when square edge boards are used. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with the joints reinforced with paper tape.

3. **Nails** — 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam, 1/4 in. diam heads, and 8d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam heads.

4. **Gypsum Board*** — 5/8 in. thick, two layers applied either horizontally or vertically. Inner layer attached to studs with the 1-7/8 in. nails spaced 6 in. OC. Outer layer attached to studs over inner layer with the 2-3/8 in. long nails spaced 8 in. OC. Vertical joints located over studs. All joints in face layers staggered with joints in base layers. Joints of each base layer offset with joints of base layer on opposite side.

When used in widths other than 48 in., gypsum board to be installed horizontally.

1. **Nailheads** — Exposed or covered with joint compound.

AMERICAN GYPSUM CO — Types AGX-1, M-Glass, AG-C, AGX-11, LightRoc or equal

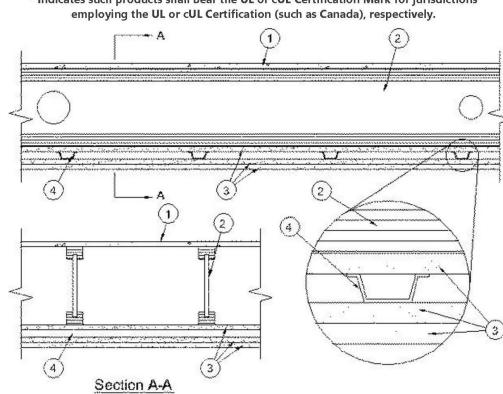
Design No. L538

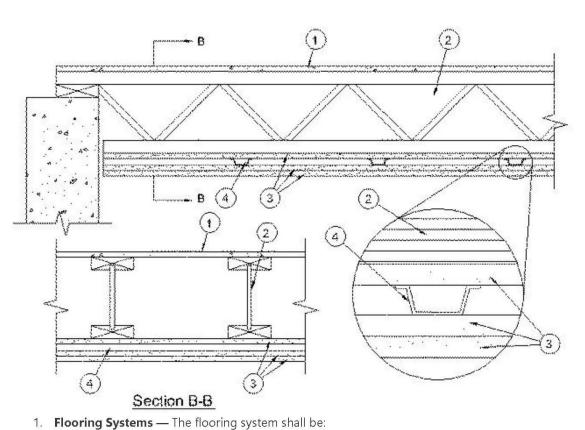
Unrestrained Assembly Rating — 2 Hr. Finish Rating — More Than 90 Min.

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See

Guide BXUV or BXUV7

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions





Subflooring — Min 5/8 in. thick wood structural panels, min grade "Underlayment" or "Single Floor".

Face grain of plywood or strength axis of panels to be perpendicular to joists with end joints centered over the top chord of the joist and staggered.

2. **Structural Wood Members*** — Min 9-1/2 in. deep "I" shaped wood joists spaced at a max of 19.2 in. OC. Joists shall conform to ICC-ES ESR-1153 Report. Joist top and bottom chords minimum 1-3/8 in. deep by 2.3 in. wide and constructed of either Microllam laminated veneer lumber (LVL) or TimberStrand laminated strand lumber (LSL). Webs constructed of minimum 3/8 in. thick Performance Plus OSB, PS2, Exposure 1. Installation shall be in accordance with manufacturers published literature.

3. **Gypsum Board*** — Three layers of 5/8 in. thick by 4 ft wide gypsum board. Top layer boards installed with the long dimension perpendicular to joists or trusses with end joints located under bottom of joists or trusses. End joints in adjacent rows shall be staggered on adjacent joists or trusses. Top layer boards secured to bottom chord of joists or trusses with 1-5/8 in. long Type S bugle head screws with hi-lo threads, spaced max 8 in. OC. Screws located 1-1/2 to 2 in., and 3/4 in. from side and end joints, respectively. Bottom two layers of gypsum board installed perpendicular to furring channels (Item 4) with end joints centered on the furring channels. Middle layer boards secured to each furring channel with 1 or 1-1/4 in. long Type S-12 bugle head steel screws with hi-lo threads spaced max 8 in. OC. Screws located 1-1/2 to 2 in. and 5/8 to 3/4 in. from side and end joints, respectively. Face layer boards secured to each furring channel through the middle layer with

1-5/8 or 1-7/8 in. long Type S-12 bugle head steel screws with hi-lo threads, spaced a max of 8 in. OC. Screws located 1-1/2 to 2 in. and 5/8 to 3/4 in. from side and end joints, respectively. End joints and side joints of the face layer boards shall be staggered a min of 16 in. from the joints in the middle layer. If end joints of the face layer boards are not centered on the furring channels, the end of boards at the end joint shall be attached to the middle layer boards with 1-1/2 in. long Type G steel screws spaced 8 in. OC and located 1-1/2 in. from the end joint. All screws shall be driven no further than flush with the face of the boards in order not to damage the core of the boards.

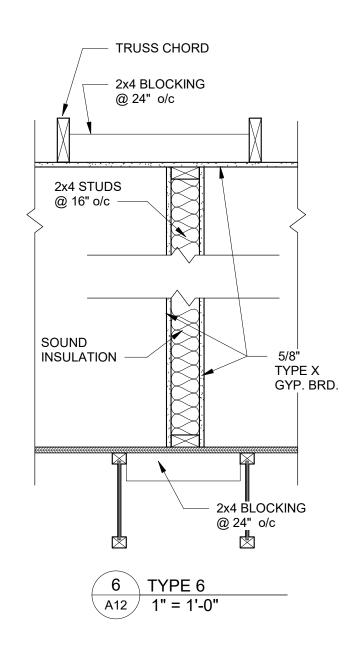
AMERICAN GYPSUM CO — Types AG-C or equal

4. **Furring Channels** — Resilient channels, 1/2 in. deep, formed from 0.019 in. thick galv steel, spaced 16 in. OC (12 in. OC when ULIX is used) perpendicular to joists or trusses. Channels secured to each joist or truss with 1-7/8 in. long Type S steel screws with hi-lo threads.

5. **Finishing System** — (Not Shown) — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads. Nom 2 in. wide paper tape embedded in first layer of compound over all joints. As an alternate, nom 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2022-02-03



TRUSS CHORD

2x4 BLOCKING @ 24" o/c

7 <u>TYPE 7</u>

A12 / 1" = 1'-0"

TRUSS CHORD

- 2x4 BLOCKING

GYP. BRD.

- 2x4 BLOCKING

@ 24" o/c

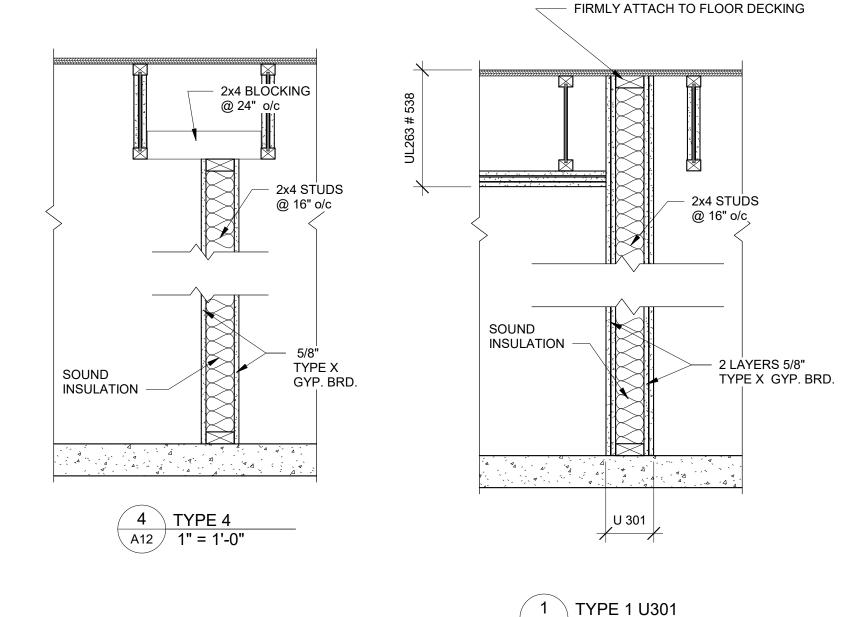
@ 24" o/c

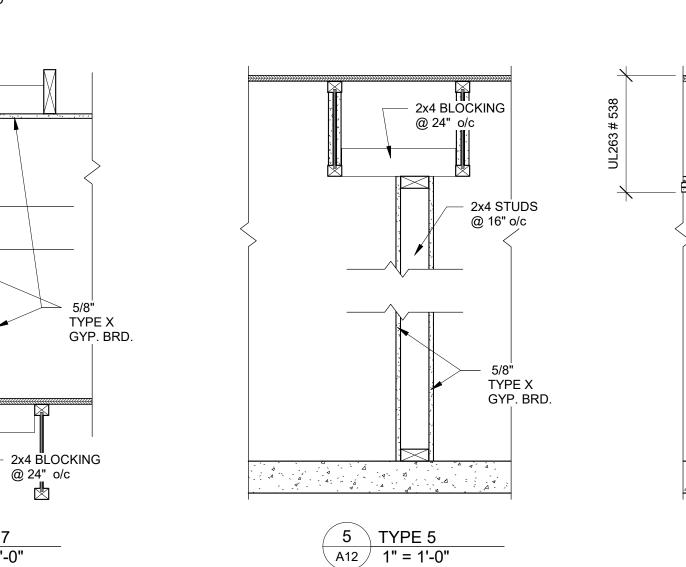
2x4 STUDS

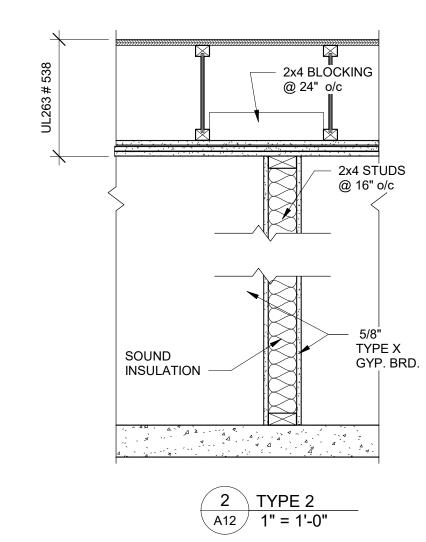
2x6 STUDS

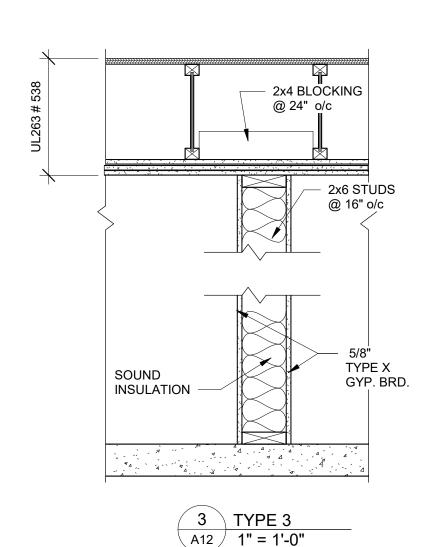
@ 16" o/c

INSULATION -











Consultant Address Address Phone Fax e-mail

Consultant Address Address Phone Fax e-mail

Consultant Address Address Phone Fax

e-mail

Consultant
Address
Address
Phone

e-mail

Consultant
Address
Address

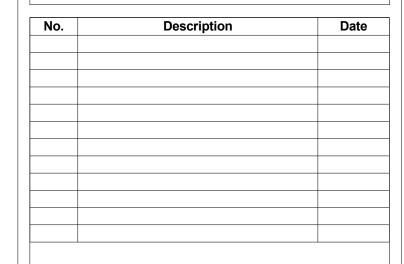
Phone

Fax

e-mail

Fax

THE ZEITGROUP ,LTD. JOHN H. ZEIT, R.A. 149 SPELL RD. KENT, OHIO 44240 330-677-5176



PRELIMINARY
NOT FOR
CONSTRUCTION

VIEN QUANG TEMPLE ADDITION

THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND

4724 West 130th St Cleveland, Ohio 44135

WALL TYPES & UL DESIGNS

Project number 2211

Date Issue Date

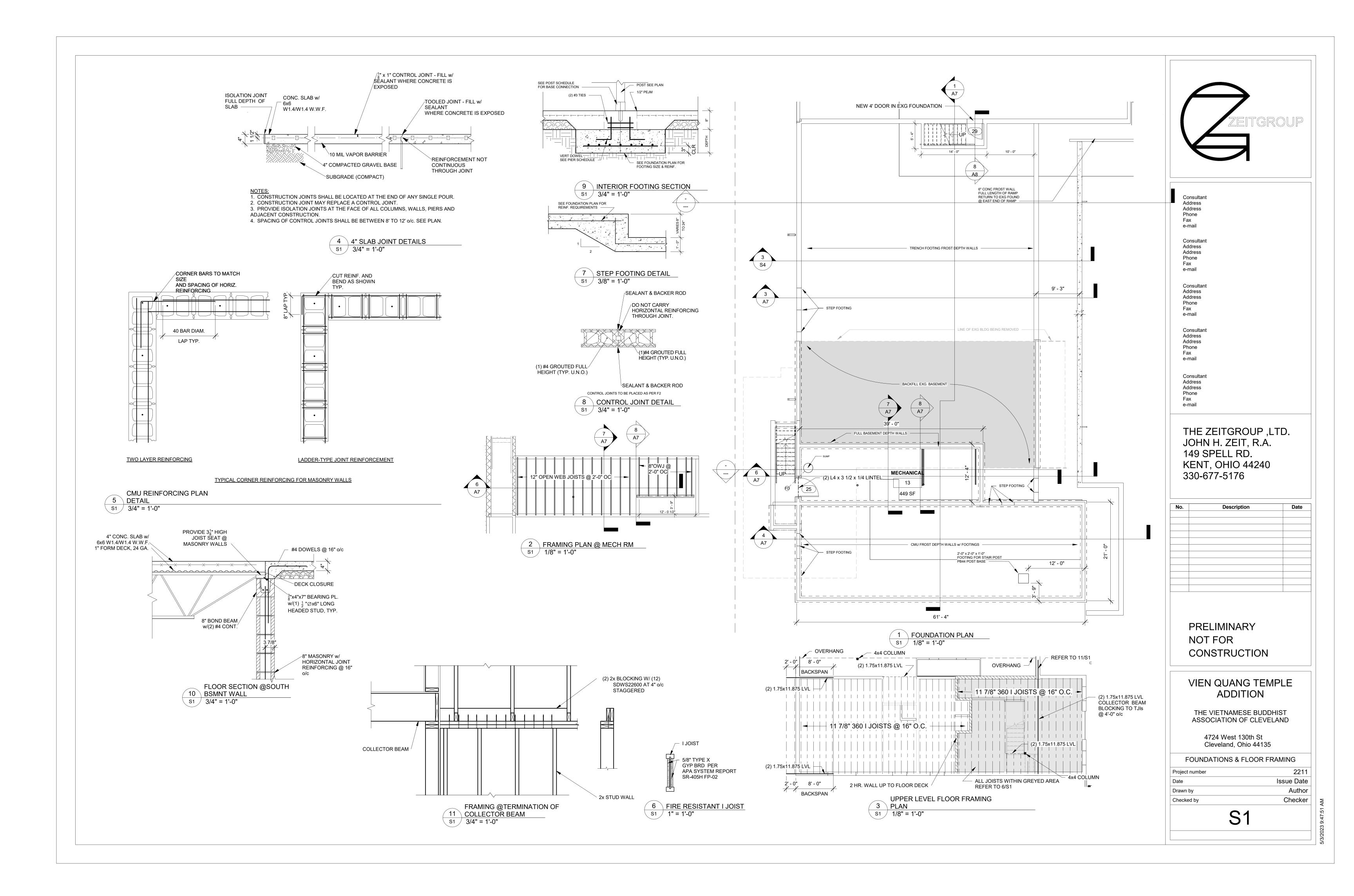
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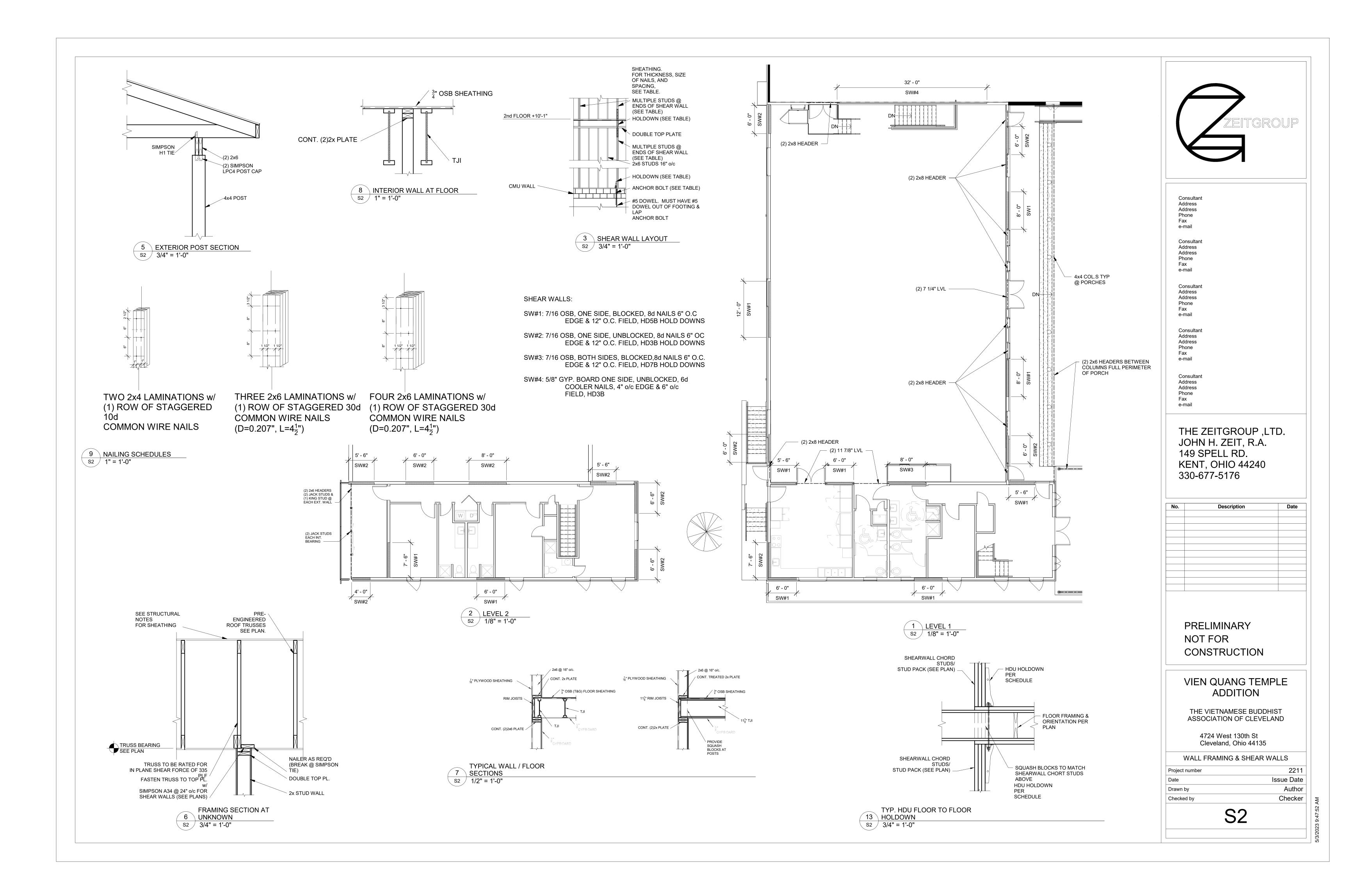
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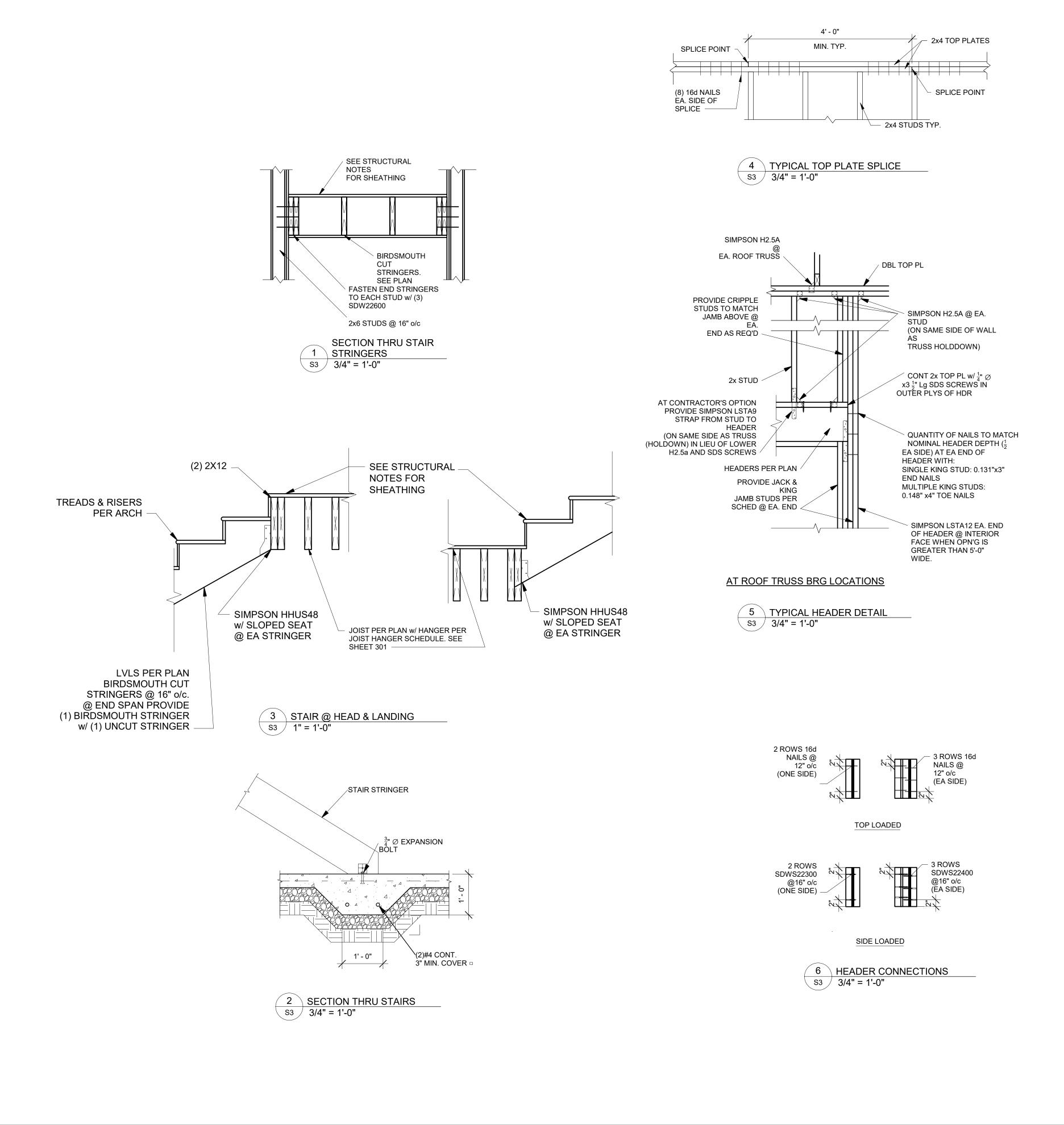
A12

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A12 1" = 1'-0"



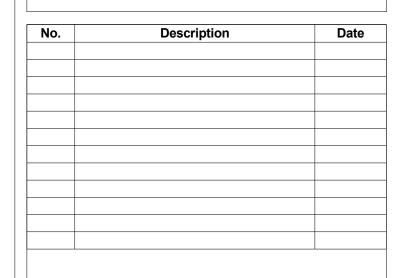






Consultant Address Address Phone Fax e-mail Consultant Address Address Phone Fax e-mail

THE ZEITGROUP, LTD. JOHN H. ZEIT, R.A. 149 SPELL RD. KENT, OHIO 44240 330-677-5176



PRELIMINARY
NOT FOR
CONSTRUCTION

VIEN QUANG TEMPLE ADDITION

THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND

4724 West 130th St Cleveland, Ohio 44135

MISC. DETAILS

Project number 2211

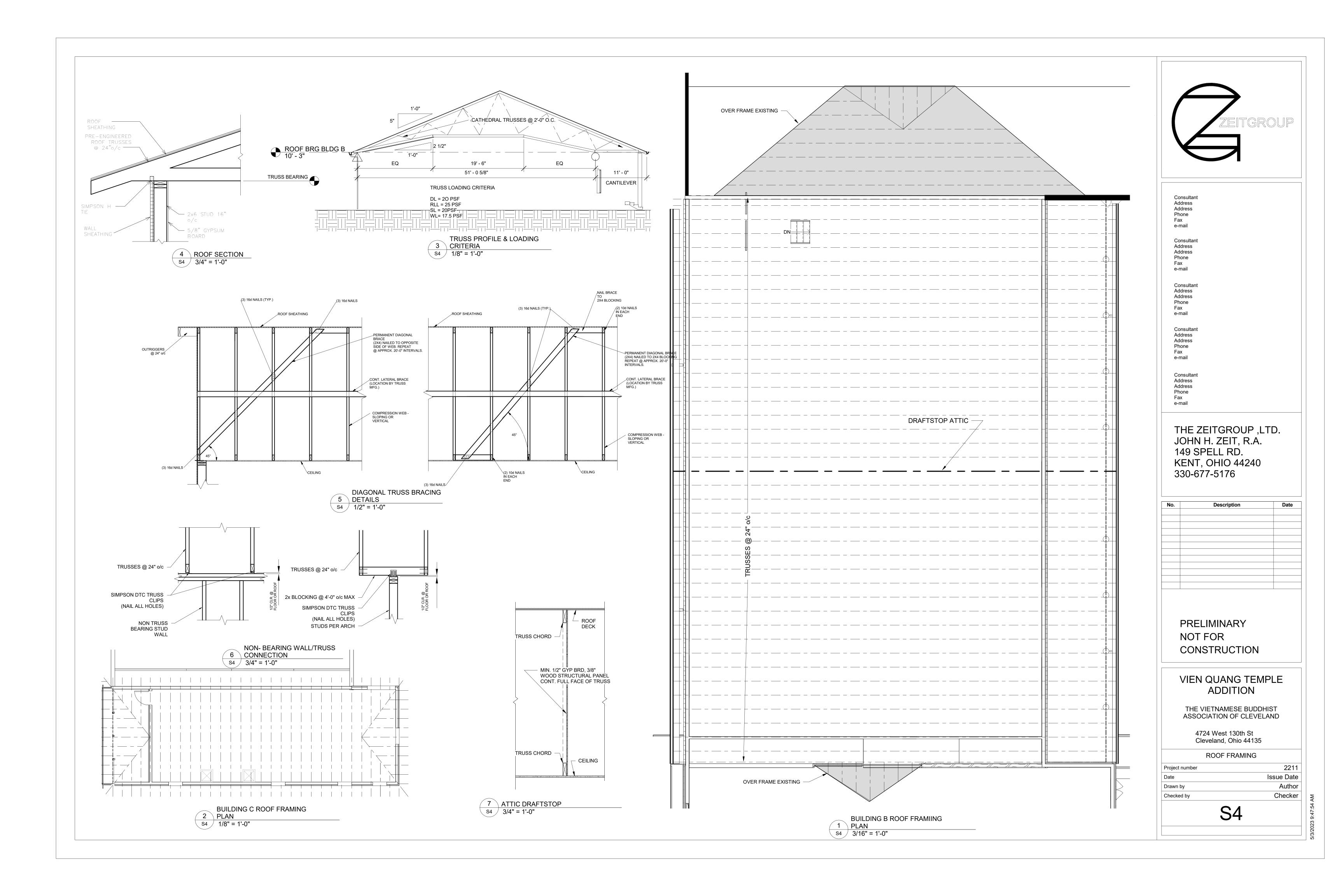
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GENERAL NOTES

A CENEDAL

- 1. THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH STATE OF OHIO BUILDING CODE (O.B.C.), 2017
- 2. ALL CONSTRUCTION SHALL CONFORM TO THE OHIO BUILDING CODE AND TO OSHA STANDARDS.
- 3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE SITE.
- 4. TEMPORARY BRACING OF THE STRUCTURE, TRUSSES, COLUMNS, BEAMS, WALLS, ETC. DURING CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. TEMPORARY BRACING OF THE STRUCTURE SHALL REMAIN IN PLACE UNTIL ALL LATERAL FORCE RESISTING ELEMENTS ARE INSTALLED (INCLUDING WALL AND ROOF SHEATHING). CONTRACTOR SHALL DESIGN AND COORDINATE LOCATIONS OF TEMPORARY BRACING WITH OTHER CONTRACTORS.
- CONSTRUCTION LOADS SHALL NOT EXCEED DESIGN LIVE LOADS. THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR ALL DESIGN REQUIRED TO SUPPORT CONSTRUCTION EQUIPMENT USED IN CONSTRUCTING THIS PROJECT.
 SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- FOUNDATION CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK WITH MECHANICAL AND ELECTRICAL CONTRACTORS REGARDING ITEMS CONCEALED BY OR EMBEDDED IN FOUNDATIONS, WALLS OR FLOOR SLABS.
- 8. PRINCIPAL OPENINGS THROUGH THE FRAMING ARE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL COORDINATE THE STRUCTURAL AND MECHANICAL DRAWINGS FOR THE REQUIRED OPENINGS AND SHALL VERIFY SIZE AND LOCATION OF ALL OPENINGS WITH THE MECHANICAL CONTRACTOR.
- 9. DO NOT SCALE DRAWINGS10. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THE WEIGHTS OF MECHANICAL UNITS ETC. ARE
- DIFFERENT FROM THE WEIGHTS POSTED ON THE DESIGN DRAWINGS. DISCREPANCIES SHALL BE RESOLVED BEFORE PROCEEDING WITH CONSTRUCTION.
- 11. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DRAWINGS.

DESIGN LOAD INFORMATION:

DEAD LOAD

1.	FIRST FLOOR DEAD LOAD	= 50 PSF
2.	SECOND FLOOR DEAD LOAD	= 10 PSF

LIVE LOAD

1. FIRST FLOOR LIVE LOAD	= 100 PSF
2. SECOND FLOOR LIVE LOAD	= 40 PSF

ROOF SNOW LOAD

1. GROUND SNOW LOAD (Pg)	= 20.00 PSF
2. FLAT ROOF SNOW LOAD (Pf)	= 20.00 PSF
3. SNOW EXPOSURE FACTOR (Ce)	= 1.0
4. SNOW LOAD IMPORTANCE FACTOR (I)	= 1.0
5. THERMAL FACTOR, Ct	= 1.0
6. RAIN ON SNOW	= 5.00 PSF
7. TOTAL DESIGN SNOW LOAD	= 25 PSF + DRIFTING

WIND LOAI

1.	ULTIMATE DESIGN WIND SPEED,	Vult (3 SECOND GUST)	=	115 MPH
2.	NOMINAL DESIGN WIND SPEED, V	Vasd	=	90 MPH
3.	WIND IMPORTANCE FACTOR (I	w) = 1.0, OCCUPANCY CATEGORY	=	II
4.	WIND EXPOSURE		=	В

EARTHQUAKE DESIGN DATA

1	. SEISMIC USE GROUP	= II
2	2. SEISMIC IMPORTANCE FACTOR (IE)	= 1.00
3	B. MAPPED SPECTRAL RESPONSE ACCELERATIONS,	Ss=13.7%, S1=5%
4	I. SITE CLASS	= D
	5. SPECTRAL RESPONSE COEFFICIENTS,	Sds=0.147, Sd1= 0.0
6	6. SEISMIC DESIGN CATEGORY	= B
9	7. BASIC SEISMIC-FORCE-RESISTING SYSTEM:	
	-STRUCTURAL STEEL	
8	B. DESIGN BASE SHEAR	= 2.8 k
Ç). SEISMIC RESPONSE COEFFICIENT (Cs)	= 0.010
•	0. RESPONSE MODIFICATION FACTOR (R)	= 3.0
1	1. V = (Sds)(W)(IE)/R (SIMPLIFIED ANALYSIS PROCEDURE)	

B. FOUNDATIONS

- ALL FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL OR WITH A BEARING CAPACITY OF 1500 PSF. FOOTINGS SHALL BE POURED THE SAME DAY THEY ARE EXCAVATED. FOOTINGS MAY BE POURED INTO EARTH-FORMED TRENCHES IF THE SOIL CONDITIONS PERMIT.
- 2. COMPACT BACKFILL OVER FOOTINGS AND BENEATH SLABS ON GRADE TO AT LEAST 98% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY PER ASTM D-698 ±2.0% MOISTURE CONTENT. STRUCTURAL FILL UNDER FOOTINGS SHALL EXTEND OUTSIDE A FOOTING A MINIMUM OF ¾ THE DEPTH OF COMPACTION. ALL FILL SHALL BE TESTED FOR IN-PLACE DENSITY TO ASSURE THAT THE COMPACTION RECOMMENDATIONS ARE ATTAINED.
- 3. FOOTING ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE AND SHALL BE FIELD ADJUSTED IF REQUIRED.
 4. A SOILS TESTING LABORATORY SHALL BE RETAINED BY THE OWNER TO PROVIDE CONSTRUCTION REVIEW TO INSURE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS DURING THE EXCAVATION, BACKFILL, AND FOUNDATION PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE SOILS TESTING LABORATORY TO: DETERMINE TOPSOIL AND EXCAVATION STRIPPING DEPTH; INSPECT ALL SUBSOIL EXPOSED DURING STRIPPING, SITE GRADING, AND EXCAVATION OPERATIONS; APPROVE FILL MATERIALS, PERFORM DENSITY TESTS OF FILLS TO INSURE PLACEMENT PER SPECIFICATION REQUIREMENTS; INSPECT FOUNDATION BEARING SURFACES.
- 5. NOTIFY STRUCTURAL ENGINEER OF ANY UNUSUAL SOIL CONDITIONS THAT ARE IN VARIANCE WITH THE GEOTECHNICAL REPORT.

C. CONCRETE AND REINFORCING STEEL

- ALL CONCRETE SHALL CONFORM TO THE FOLLOWING REFERENCED STANDARDS:
 ACI 318-14: BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE.
 ACI 315: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
 ACI 305: RECOMMENDED PRACTICES FOR HOT WEATHER CONCRETING.
- ACI 306: RECOMMENDED PRACTICES FOR COLD WEATHER CONCRETING.

 2. ALL CAST-IN-PLACE INTERIOR SLAB CONCRETE AND ALL INTERIOR CONCRETE NOT OTHERWISE IDENTIFIED SHALL BE 3500 PSI (W/C RATIO = 0.55) AT 28 DAYS WITHOUT AIR ENTRAINMENT AND WITH THE APPROPRIATE
- 3. CAST-IN-PLACE CONCRETE FOR SPREAD AND WALL FOOTINGS SHALL BE 3000 PSI (W/C RATIO = 0.50) AT 28
- DAYS.

 A ALL CAST-IN-DI ACE EXTERIOR SI AR CONCRETE AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED.
- 4. ALL CAST-IN-PLACE EXTERIOR SLAB CONCRETE AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED SHALL BE 4000 PSI (W/C RATIO = 0.50) AT 28 DAYS WITH AIR ENTRAINMENT (6% ±1%).
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE-60.
 WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. ONLY FLAT SHEETS SHALL BE USED.
- ALL WELDED WIRE FABRIC SPLICES SHALL BE NOT LESS THAN (2) SPACINGS OF CROSS WIRES OR 6", WHICHEVER IS GREATER.
- 8. CORNER BARS SHALL BE PROVIDED TO MATCH HORIZONTAL WALL AND FOOTING REINFORCEMENT AT ALL CORNERS, LAP BARS 30 BAR DIAMETERS OR A MINIMUM OF 1'-0"
- CORNERS. LAP BARS 30 BAR DIAMETERS OR A MINIMUM OF 1'-0".

 9. PROVIDE A 3/4"X45° CHAMFER ON ALL EXPOSED EDGES OF CONCRETE.
- 9. PROVIDE A 3/4"X45" CHAMFER ON ALL EXPOSED EDGES OF CONCRETE.

 10. A CURING COMPOUND IS TO BE APPLIED TO THE CONCRETE AFTER FINISHING.
- 11. ALL ALUMINUM IN CONTACT WITH CONCRETE OR DISSIMILAR METALS SHALL BE COATED WITH TWO COATS COAL TAR EPOXY, APPROVED BY THE ARCHITECT, UNLESS OTHERWISE NOTED.
- COAL TAR EPOXY, APPROVED BY THE ARCHITECT, UNLESS OTHERWISE NOTED.

 12. ALL CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS, EXCEPT WHERE SPECIFICALLY NOTED. HORIZONTAL REINFORCEMENT SHALL BE CONTINUOUS THROUGH VERTICAL
- CONSTRUCTION JOINTS.

 13. SEE ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHES, MASONRY ANCHORS, AND FOR MISCELLANEOUS EMBEDDED PLATES. BOLTS. ANCHORS. ANGLES. ETC.
- 14. ALL HOOKS SHOWN ON DRAWINGS SHALL BE STANDARDS HOOKS PER ACI STANDARD

MINIMUM LAP SPLICE (CLASS B)

(Fy = GRADE 60, NON-COATED BARS). SPLICE REINFORCING WHERE INDICATED ON THE DRAWINGS OR ON THE SHOP DRAWINGS. ALL SPLICES SHALL BE CLASS 'B' AS DEFINED IN ACI 318. IF SPLICE LENGTH IS NOT GIVEN ON THE DRAWINGS, PROVIDE LAP SPLICE LENGTHS (IN INCHES) AS FOLLOWS.

3000 PS	SI CONCRETE		4000 PS	CONCRETE	
1000 P100 P00 P00 P00 P00 P00 P00 P00 P0	ZE TYPICAL	TOP		E TYPICAL	TO
#3	22"	28"	#3	19"	24
#4	29"	37"	#4	25"	32
#5	36"	47"	#5	31"	40
#6	43"	56"	#6	37"	48
#7	63"	81"	#7	54"	70
#8	72"	93"	#8	62"	80
			#9	70"	91'

1. WHEN LAPPING TWO DIFFERENT SIZE BARS, USE THE LAP DIMENSION OF THE LARGER BAR OR THE TENSION LAP SPLICE OF SMALLER BAR. USE WHICHEVER DIMENSION IS LARGER.
2. LAP LENGTHS ASSUME CLEAR SPACING BETWEEN BARS OF 2 BAR DIAMETERS, AND A MINIMUM COVER OF 1 BAR DIAMETER. FOR DEVELOPMENT LENGTHS, DIVIDE "TYPICAL DIMENSIONS" BY 1.3.

3. TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 1'-0" OF FRESH CONCRETE BELOW.

TE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH3"
N GRADE (WELDED WIRE FABRIC)
TE EXPOSED TO EARTH OR WEATHER -NO. 6 THRU NO. 18 BARS
-NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER12 TE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS
-NO. 14 & NO. 18 BARS
-NO. 11 BAR AND SMALLER
S, COLUMNS -PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS13"

- 1. ALL DETAILS, DETAILING, CONNECTIONS, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE
- AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS 360-10 (ASD).

 2. ALL W SHAPES SHALL CONFORM TO ASTM A-992 (Fy=50 KSI) SPECIFICATIONS, ALL OTHER STRUCTURAL STEEL SHAPES AND PLATE SHALL CONFORM TO MINIMUM ASTM A-36 SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT DETAILED, COORDINATED AND CHECKED SHOP DRAWINGS FOR ALL STRUCTURAL STEEL PRIOR TO FABRICATING STEEL. THE SHOP DRAWINGS SHALL BEAR THE STAMP OF THE CONTRACTOR SHOWING THAT THE SHOP DRAWINGS HAVE BEEN REVIEWED BY THEM.
 ALL STEEL PIPE SHALL CONFORM TO ASTM A53, GRADE B, SPECIFICATIONS. HSS SECTIONS (HOLLOW)
- STRUCTURAL SECTIONS) SHALL CONFORM TO ASTM A500, GRADE B SPECIFICATIONS.

 5. ALL BOLTS SHALL BE 3/4" UNLESS OTHERWISE NOTED (UNO) AND SHALL CONFORM TO A325N SPECIFICATIONS

 WITH THE ADS IN SHEAP BLANE ADDITIONALLY ALL BOLTS SHALL BE TIGHTENED TO A 'SNILG TIGHTENED.
- WITH THREADS IN SHEAR PLANE. ADDITIONALLY, ALL BOLTS SHALL BE TIGHTENED TO A 'SNUG-TIGHTENED CONDITION' AS PER RCSC SPECIFICATION 8.1 UNO.

 6. ANCHOR RODS SHALL CONFORM TO ASTM A36 OR ASTM-F1554 (GR.36) SPECIFICATIONS.
- 7. GROUT UNDER ALL COLUMN BASE PLATES SHALL BE A NON-SHRINK, NON-METALLIC TYPE CONSISTING OF A PREMIXED PRODUCT COMPLYING OF ALL REQUIREMENTS OF ASTM C1107. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI WHEN TESTED IN CONFORMANCE WITH ASTM C109.
- 8. WELDING SHALL CONFORM TO ASW D1.1 "STRUCTURAL WELDING CODE-STEEL", LATEST EDITION AND SHALL BE PERFORMED BY CERTIFIED WELDERS.
- ALL WELDING ELECTRODES SHALL BE E70XX.
 ALL NEW STEEL SHALL BE SHOP PRIMED WITH A FAST-CURING, LEAD AND CHROMATE-FREE, UNIVERSAL MODIFIED-ALKYD PRIMER COMPLYING WITH MPI#79. USE PRIMER CONTAINING PIGMENTS THAT MAKE IT EASILY
- DISTINGUISHABLE FROM ZINC-RICH PRIMER.

 11. CONNECTIONS SHOWN ON THESE DRAWINGS ARE GENERALLY SCHEMATIC. ANY CONNECTION THAT IS NOT SHOWN OR IS NOT COMPLETELY DETAILED ON THE STRUCTURAL DRAWINGS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER, LICENSED IN OHIO, RETAINED BY THE FABRICATOR. DETAILS AND CONTONS MAY BE DESIGNED TO CONFORM TO AISC STEEL CONSTRUCTION MANUAL FOURTEENTH
- 12. SUBMIT CALCULATIONS STAMPED & SIGNED BY AN ENGINEER REGISTERED IN THE STATE WHERE THE
- PROJECT IS LOCATED FOR ALL MOMENT CONNECTIONS.

 13. DETAILS AND CONNECTIONS COMPLETELY DETAILED IN THE CONTRACT DRAWINGS MAY NOT BE ALTERED WITHOUT WRITTEN APPROVAL BY THE ENGINEER. WHERE APPROVED, ALTERED CONNECTIONS SHALL BE
- COMPLETELY DETAILED BY THE FABRICATOR'S ENGINEER CLEARLY ON THE SHOP DRAWINGS.

 14. MINIMUM CONNECTION PLATE THICKNESS SHALL BE 3/8", UNLESS OTHERWISE INDICATED IN THE CONTRACT DRAWINGS.
- 15. ALL MOMENT CONNECTIONS SHALL BE DESIGNED FOR THE REACTIONS SHOWN ON THE FRAMING PLANS.
 16. BOLTS IN MOMENT CONNECTIONS MAY BE DESIGNED AS BEARING TYPE BOLTS WHERE STANDARD HOLES ARE USED. BOLTS IN FLANGE PLATES SHALL BE INSTALLED AS SLIP CRITICAL.
- 17. SLIP CRITICAL BOLTS (FRICTION BOLTS) SHALL BE USED AT THE FOLLOWING LOCATIONS: MOMENT CONNECTIONS
- COLUMN SPLICES

 18. SLIP CRITICAL BOLTS SHALL BE TIGHTENED PER AISC SPECIFICATIONS.
- 19. ALL OTHER BOLTS NOT DESIGNATED AS SLIP CRITICAL BOLTS SHALL BE CONSIDERED BEARING BOLTS. DO NOT
 OVER TIGHTEN BEARING BOLTS, ESPECIALLY FOR BEAMS TO SUPPORT CONCRETE SLABS. TIGHTEN BEARING
 BOLTS TO A SNUG CONDITION ONLY. PER AISC SPECIFICATIONS.
- 20. ALL COLUMNS HAVE BEEN CHECKED FOR DOUBLER PLATES. NO DOUBLE PLATES REQUIRED.
 21. GENERAL CONTRACTOR SHALL VERIFY ALL STRUCTURAL BEAM LOCATIONS, MECHANICAL UNIT WEIGHTS AND OPENING SIZES AND LOCATIONS WITH MECHANICAL CONTRACTOR AND VENDOR'S DRAWINGS FOR ACTUAL
- OPENING SIZES AND LOCATIONS WITH MECHANICAL CONTRACTOR AND VENDOR'S DRAWINGS FOR ACTUAL MECHANICAL UNIT PURCHASED.

 22. SPLICING OF STRUCTURAL MEMBERS WHERE NOT DETAILED ON THE DRAWINGS IS PROHIBITED WITHOUT
- PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

 23. CUTS, HOLES, COPING, ETC. REQUIRED FOR WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP
- DRAWINGS AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERMITTED, UNLESS SPECIFICALLY APPROVED IN EACH CASE BY THE STRUCTURAL ENGINEER.

 24. ALL HSS SHAPES (ROUND, SQUARE, RECTANGULAR, ETC.) ARE TO HAVE A 1/4" CAP PLATE AT ALL EXPOSED
- ENDS. CAP PLATES TO BE SEAL WELDED ALL AROUND, UNO. PROVIDE 3/8"Ø WEEP HOLES IN THE CENTER OF THE PLATE.

 25. ALL AROUND WELDS INDICATED HEREIN SHALL BE DISCONTINUOUS AT THE FLANGE TIPS OF OPEN SECTIONS.
- 25. ALL AROUND WELDS INDICATED HEREIN SHALL BE DISCONTINUOUS AT THE FLANGE TIPS OF OPEN SECTIONS.
 26. ANY ALTERATION MADE BY THE DETAILER ON THE STRUCTURAL STEEL SHOP DRAWINGS TO SCHEMATIC OR
 COMPLETELY DETAILED CONNECTIONS SHOWN ON THE CONTRACT DRAWINGS MUST BE CLEARLY IDENTIFIED
 BY CLOUDING OR BY DIRECT NOTE ON THE SHOP DRAWING BY THE DETAILER PRIOR TO SUBMISSION TO THE
 ENGINEER.
- 27. CAMBER VALUES SHOWN ON THE PLANS FOR BEAMS AND GIRDERS SHALL BE THE AMOUNT OF CAMBER IN THE MEMBER FOLLOWING ERECTION. CONTRACTOR SHALL VERIFY THAT CAMBER INDICATED ON PLANS CORRESPONDS TO ACTUAL FIELD CONDITIONS PRIOR TO REPLACEMENT OF STRUCTURAL SLAB. CONTRACTOR IS TO NOTE THAT THE STRUCTURAL STEEL BEAMS HAVE BEEN CAMBERED IN AN EFFORT TO LIMIT EXTRA CONCRETE PLACEMENT DUE TO THE DEFLECTION OF THE STRUCTURAL STEEL BEAMS AND GIRDERS. HOWEVER, THE AMOUNT OF ACTUAL CAMBER FOR EACH STRUCTURAL STEEL MEMBER MAY VARY DUE TO MILL OR SHOP TOLERANCE AND BEAMS WITH COMPUTED INITIAL DEFLECTIONS LESS THAN 3/4" ARE NOT CAMBERED AT ALL. THEREFORE, THE CONTRACTOR MAY NOT ASSUME THAT THE CAMBERS INDICATED ELIMINATE THE NEED FOR EXTRA CONCRETE PLACEMENT.
- 28. THE CONCRETE SLABS AND/OR NON-COMPOSITE STEEL DECKS ARE PART OF THE STABILITY SYSTEM FOR A COMPLETED STRUCTURE. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING TO MAINTAIN STRUCTURAL STEEL IN PROPER POSITION UNTIL PERMANENTLY SECURED. REMOVE TEMPORARY BRACING AND THEIR CONNECTIONS ONLY AFTER ERECTION OF PERMANENT MEMBERS IS COMPLETE AND ALL CONCRETE SLABS HAVE BEEN PLACED AND CURED AND NON-COMPOSITE STEEL DECKS ARE PROPERLY FASTENED. A COMPLETED STRUCTURE HAS ITS BOUNDARY'S DEFINED BY THE BUILDING EXTERIOR AND/OR INTERIOR EXPANSION JOINTS WHERE THEY EXIST BETWEEN BUILDING SEGMENTS.

- E. WOOD FRAMING
- QUALITY AND CONSTRUCTION OF WOOD FRAMING MEMBERS AND THEIR FASTENERS FOR LOAD SUPPORTING PURPOSES NOT OTHERWISE INDICATED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE OHIO BUILDING CODE.
- 2. ALL WOOD SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, NDS
- (2015 EDITION) AND THE 2017 OHIO BUILDING CODE CHAPTER 23.
 3. TREATED BOTTOM PLATES WHERE THERE IS CONTACT WITH MASONRY.
- 4. JOISTS, RAFTERS, STUDS & HEADERS-(SPF, NO.1/NO.2, DOUGLAS FIR OR SOUTHERN PINE), DESIGN VALUES SHALL EQUAL OR EXCEED THE FOLLOWING:
 ..a. Fb: 875 P.S.I.
- ..b. Fv: 135 P.S.I.
- ..c. E: 1,400,000 P.S.I.
 5. NAILING OF ALL FRAMING MEMBERS SHALL MEET THE RECOMMENDED NAILING SCHEDULE (TABLE 2304.10.1)
- CONTAINED IN THE OBC, CHAPTER 23.

 6. ERECTION PLANS FOR ALL TRUSSES SHALL BE SUBMITTED FOR REVIEW WITH SHOP DRAWINGS PRIOR TO FABRICATION. ERECTION PLANS SHALL INCLUDE HOW AND WHERE THE PERMANENT BRIDGING WILL BE INSTALLED. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER OF OHIO REGISTRATION.
- ACCORDANCE WITH THE TRUSS INSTITUTE, INC. TEMPORARY BRIDGING SHALL BE FURNISHED AS REQUIRED TO MAINTAIN TRUSS STABILITY, SPACING AND TO PREVENT BUCKLING DURING ERECTION. LIVE LOAD DEFLECTION FOR FLOOR TRUSSES IS LIMITED TO L/480 AND TOTAL LOAD DEFLECTION L/360.

 7. PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S NATIONAL DESIGN STANDARD FOR METAL-PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI-1

TEMPORARY AND PERMANENT BRIDGING AND BRACING OF WOOD ROOF AND FLOOR TRUSSES SHALL BE IN

- NATIONAL DESIGN STANDARD FOR METAL-PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI-1 LATEST EDITION). TRUSSES SHALL BE DESIGNED AND MANUFACTURED BY AN AUTHORIZED MEMBER OF THE WOOD TRUSS COUNCIL OF AMERICA (WTCA). TRUSS DESIGN SHALL CONFORM TO SPECIFIED CODES, ALL WAS ALL STANDARD STANDAR
- 8. CONNECT ROOF TRUSSES TO TOP PLATE WITH A SIMPSON "HI" TIE UNLESS NOTED OTHERWISE.
- 9. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED OR APPROVED.

 10. SHEATHING:

³ PLYWOOD ROOF SHEATHING PER ARCH.

- EXTERIOR WALL SHEATHING: $\frac{1}{2}$ " EXT. GRADE PLYWOOD SHEATHING. ALL SHEATHING TO BE NAILED WITH 8d COMMON NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PROVIDE SOLID BLOCKING TO MATCH WALL STUD SIZE AT ALL FREE EDGES OF WALL SHEATHING AND NAIL w/ 8d COMMON NAILS AT 6" O.C.
- 11. BOLTS HOLES SHALL BE 1/16" MAXIMUM LARGER THAN THE BOLT SIZE. RE-TIGHTEN ALL NUTS PRIOR TO
- 12. 2x2x3/16 PLATE WASHERS SHALL BE USED UNDER BOLT HEADS AND NUTS AGAINST WOOD.
- 13. SERVICE CONDITION DRY WITH MOISTURE CONTENT AT OR BELOW 19% IN SERVICE.14. CONTRACTOR SHALL COORDINATE TRUSS LAYOUT FOR OPENINGS AND PENETRATIONS REQUIRED BY OTHER
- TRADES INCLUDING FOR PLUMBING, HVAC, ELECTRICAL, ROOF ACCESS HATCHES, CHASES, ETC.

 15. DRYWALL CLIPS OR 2X LADDER BLOCKING AT 24" O/C SHALL BE USED AT CORNER FRAMING AND INTERIOR WALL INTERSECTIONS

F. SUBMITTALS

1. THE GENERAL CONTRACTOR SHALL SUBMIT FOR ENGINEER REVIEW SHOP DRAWINGS FOR THE FOLLOWING

CONCRETE DESIGN MIX ROOF TRUSS (^,*)

ITEMS MARKED (*) SHALL HAVE SHOP DRAWINGS SEALED BY A REGISTERED ENGINEER IN THE STATE WHERE THE PROJECT IS LOCATED. ITEMS MARKED (#) SHALL BE SUBMITTED TO ENGINEER FOR OWNER'S RECORD ONLY AND WILL NOT HAVE ENGINEER'S SHOP DRAWINGS STAMP. ITEMS MARKED (^) SHALL HAVE CALCULATIONS PREPARED BY A REGISTERED ENGINEER.

- 2. ALL SHOP DRAWINGS MUST BE REVIEWED AND SEALED BY THE GENERAL CONTRACTOR PRIOR TO
- SUBMITTAL.
- CONTRACTOR SHALL SUBMIT ELECTRONIC COPIES (E.G. PDFS) OF ALL SHOP DRAWINGS SPECIFIED TO BE RETURNED BY THE ENGINEER.
 THE OMISSION FROM THE SHOP DRAWINGS OF ANY MATERIAL REQUIRED BY THE CONTRACT DOCUMENTS TO BE FURNISHED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING AND

INSTALLING SUCH MATERIALS, REGARDLESS OF WHETHER THE SHOP DRAWINGS HAVE BEEN REVIEWED AND

APPROVED.
5. SUBMIT TWO COPIES OF MANUFACTURER'S LITERATURE FOR ALL MATERIALS AND PRODUCTS USED IN

EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREIN.

CONSTRUCTION ON THE PROJECT.

6. THE USE OF REPRODUCTIONS OF THESE CONTRACT DOCUMENTS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREIN AS CORRECT, AND OBLIGATE HIMSELF TO ANY JOB



Consulta Address Address Phone Fax e-mail

Consultant Address Address Phone

Fax e-mail Consultant Address Address Phone

Fax e-mail Consultant Address Address

> Consultant Address Address Phone Fax e-mail

Phone

e-mail

THE ZEITGROUP ,LTD. JOHN H. ZEIT, R.A. 149 SPELL RD. KENT, OHIO 44240 330-677-5176

No.	Description	Date	

PRELIMINARY
NOT FOR
CONSTRUCTION

VIEN QUANG TEMPLE ADDITION

THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND

4724 West 130th St Cleveland, Ohio 44135

Project number 2211

Date Issue Date

Drawn by Author

Checked by Checker

GENERAL NOTES

S5

5/3/2023 9:47:56 AM



May 5, 2023



Committee Recommendation:

Unanimously **Approved** Conceptually with **Conditions**:

Need clarity on fence condition; eliminate center curb cut; refine site plan, adding greenspace wherever possible; provide landscaping and lighting plan, also materials, for final approval.

Cleveland City Planning Commission

Staff Report



East Design Review Case

LOCAL PURPLE OF THE PROPERTY O

May 5, 2023

EAST2023-010 – Proposed Demolition of a 2-Story Multi-Unit Residential Structure:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10508 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

Ward 6 - Councilmember Griffin

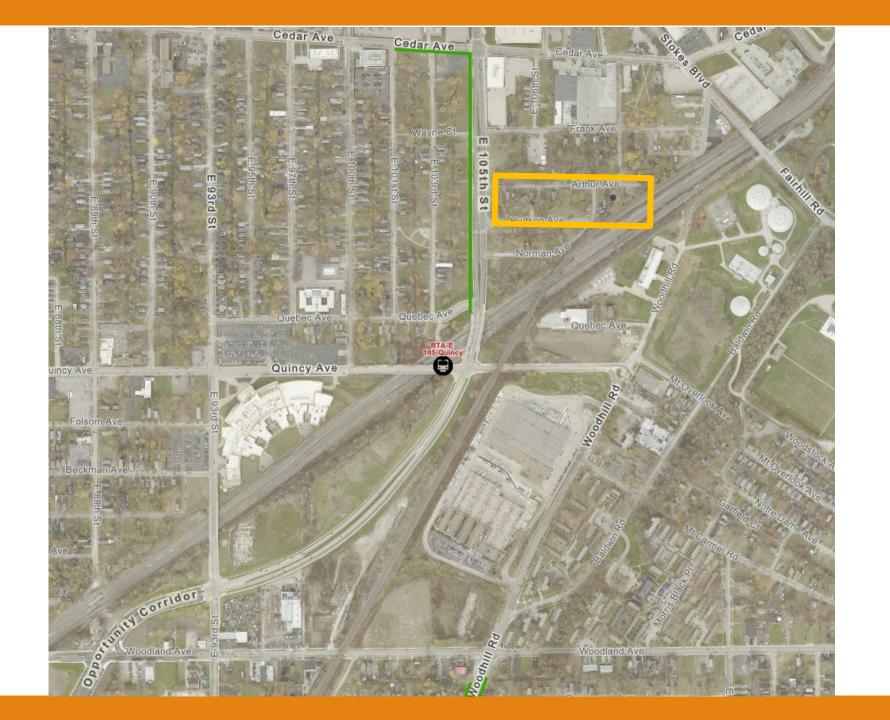
SPA: University

Proposal for demolitions 10508, 10512, 10518, 10528, 10600, 10612, 10617, 10718 Arthur ave

• In Opportunity Corridor Design Review District

Site location and context





10508 Arthur

Demolition: We are seeking the approval of the complete demolition of two 2 story residential properties

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: These structures have been vacant since at least 2022.

Complaints: The City has received 5 formal complaints regarding the structures on this parcel

Board-ups: The city has boarded up these

structures 2 times.

Back Taxes: \$0



Front house



Rear house

10508 Arthur Front House













10508 Arthur Front House

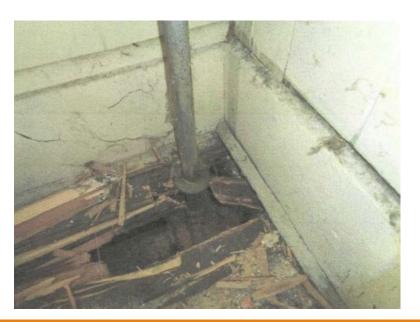












10508 Arthur Rear House













Interior Photos





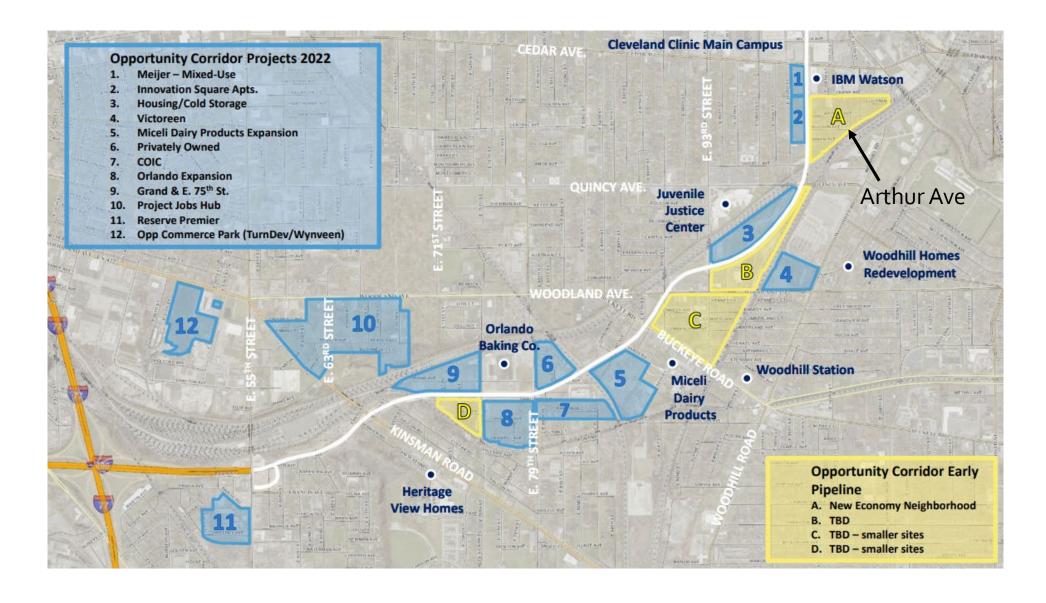




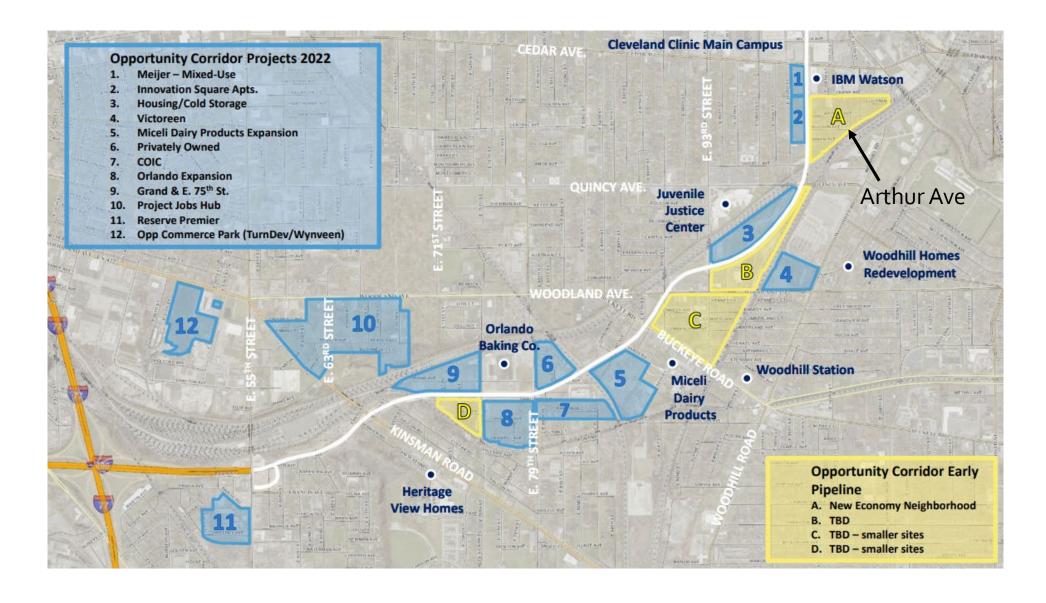




Site Plan



Site Plan



East Design Review Case

EVEL AND OF COLUMN TO THE PROPERTY OF THE PROP

May 5, 2023

EAST2023-011 – Proposed Demolition of a 2-Story Two-Family Residential Structure:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10518 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

Ward 6 - Councilmember Griffin

SPA: University

10518 Arthur

Demolition: We are seeking the approval of the complete demolition of this 2.5 story residential property **Current Owner:** Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure has been vacant since at least 2022.

Board-ups: The city has boarded up

this structure once.

Back Taxes: \$0



Interior Photos













Interior Photos









East Design Review Case

LOCAL PURPLE OF THE PROPERTY O

May 5, 2023

EAST2023-012 – Proposed Demolition of a 2 ½-Story Residential Structure:

SPA: University

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10612 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10612 Arthur

Demolition: We are seeking the approval of the complete demolition of this 2 family, 2 story property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received 2 formal complaint regarding the structure on this parcel

Back Taxes: \$0



Interior photos

















East Design Review Case

EVELANDO DE LE LANDO DE LA LAN

May 5, 2023

EAST2023-013 – Proposed Demolition of a 2 ½-Story Residential Structure:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10512 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

Ward 6 - Councilmember Griffin

SPA: University

10512 Arthur

Demolition: We are seeking the approval of the complete demolition of this 1 story residential property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure have been vacant since at least 2022.

Complaints: The City has received 1 formal complaints regarding the structures on this parcel **Board-ups**: The city has boarded up this structure once.

Back Taxes: \$248



Interior Photos













Interior Photos





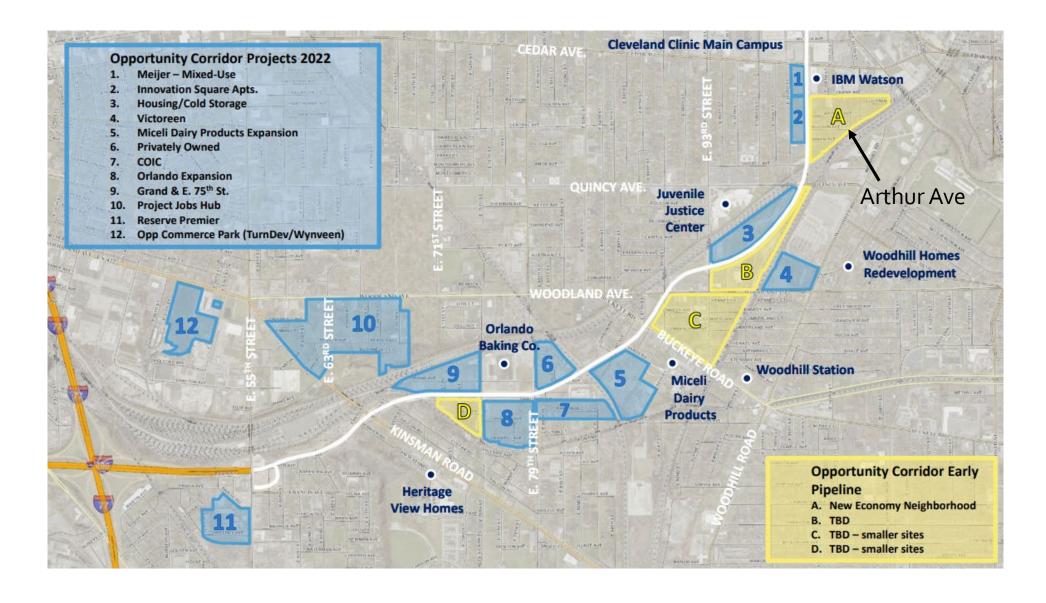








Site Plan



New Economic Neighborhood

- The New Economy Neighborhood is a mixed-use technology research district designed for office space, retail, housing, green space, and parking.
- This area is adjacent to the Opportunity Corridor and will bring economic growth
- A conceptual plan for the future of this 42-acre area is completed.
 - The plan calls for creating a campus like setting with new buildings arranged to form a civic edge along Cedar Avenue and E. 105th Street.
 - The west side of East 105th street along the corridor will include the introduction of higher density residential development [Meijer mixed use project, Innovation Square apartments] that will promote housing investment in close proximity to new jobs.
- This approach will increase walkability and lower housing and transportation cost for residents who
 choose to live in Renaissance Village (new CMHA housing development located at Central and E
 82nd).
- Envisioned uses include a mix of high-performance office space in three- to five-story
 structures with ground floor commercial at key corners. Parking will be accommodated in a mix of
 surface and structured spaces tucked behind buildings. Green infrastructure is planned to detain and
 clean storm water.

East Design Review Case

LOUIS CONTROL OF THE PARTY OF T

May 5, 2023

EAST2023-014 – Proposed Demolition of a 2 ½-Story Residential Structure:

SPA: University

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10617 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10617 Arthur

Demolition: We are seeking the approval of the complete demolition of

this 1 family, 2 story property

Current Owner: Owned by City of

Cleveland Industrial Commercial

Landbank

Vacant: This structure has been vacant

since at least 2020.

Back Taxes: \$0



Interior photos























East Design Review Case

EVELANDO DE LE LANDO DE LA LAN

May 5, 2023

EAST2023-015 – Proposed Demolition of a 2 ½-Story Two-Family Residential Structure:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10528 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

Ward 6 - Councilmember Griffin

SPA: University

10528 Arthur

Demolition: We are seeking the approval of the complete demolition of this 2 story apartment unit

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received 1 formal complaint regarding the structure on this parcel

Back Taxes: \$193



Interior Photos













More Photos







East Design Review Case

EVELANDO DE COMPANDA DE COMPAN

May 5, 2023

EAST2023-016 – Proposed Demolition of a 1 ½-Story Residential Structure:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

SPA: University

Project Address: 10718 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10718 Arthur

Demolition: We are seeking the approval of the complete demolition of this 1 family, 1.5 story property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received 1 formal complaint regarding the structure on this parcel

Back Taxes: \$0



Interior photos

















East Design Review Case

EVEL AND OF COLUMN TO THE PROPERTY OF THE PROP

May 5, 2023

EAST2023-017 – Proposed Demolition of a 2 ½-Story Two-Family Residential Structure:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10600 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

Ward 6 - Councilmember Griffin

SPA: University

10600 Arthur

Demolition: We are seeking the approval of the complete demolition of this 2 family, 2 story property

Current Owner: Owned by City of Cleveland Industrial Commercial

Landbank

Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received

2 formal complaint regarding the

structure on this parcel

Back Taxes: \$223.94



Interior photos

















Cleveland City Planning Commission

Staff Report



Euclid Corridor Design Review Case



May 5, 2023

EC2022-010 – UCI Development | Stokes West New Construction REVISED:

Seeking Final Approval

Project Location: NW corner of Cedar Avenue and Stokes Blvd.

Project Representative: Steve Jennings, LDA Architects

Committee Recommendation: Approved with **Conditions:**

Concerns & Comments:

- 1- Clarify function of new space between the two townhome buildings in landscape plan updates.
- 2- Add some treatment on the wall, just right of entry door on building rear, to add visual interest.
- 3- Main building seems like a large & monolithic structure, and a significant departure from previous iteration.

SPA: University



- 4- Address section of building over front entryway so that, with window sizes and parapet height, it reads differently (e.g. increase window sizes, different material, more glass) so that the building can read as two separate volumes (more similar to previous design).
- 5- The main building is a solid extrusion, from floor to top, occasionally changing colors. The fenestration and articulation of the building's size feels incomplete, e.g. the balconies appear to be a system just hanging off of flat surfaces.
- 6- Compilation & assembly of materials feels patched.
- 7- Insure that landscape design in public realm is well designed and treated, not just mowed lawn.

SPA: University

- 8- Insure proper screening of electrical equipment near the corner of Stokes & Cedar.
- 9- Return with complete lighting plan.
- 10- Material on building ends appearnot to enhance the quality of the building.

UCI Development | Stokes West

Cleveland, Ohio



DESIGN REVIEW

05.04.2023



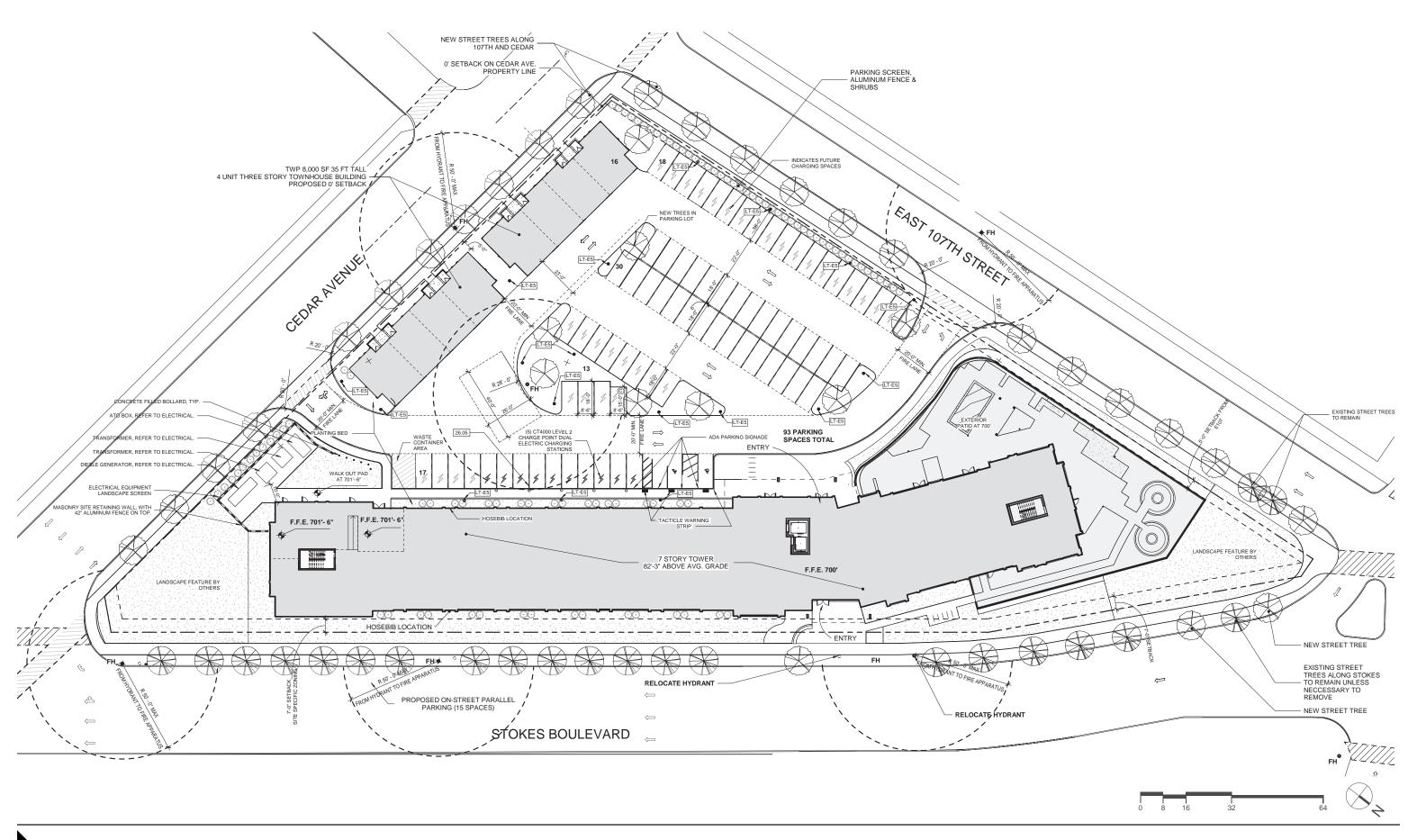














Rent	Rent Comparables				One Bedroom	Two Bedroom
#	Property Name	Year Built	Total Units	Rent	Rent	Rent
1	One University	2018	276	\$1,940	\$2,210	\$3,581
2	Innova	2015	247	\$1,573	\$1,820	\$2,650
3	INTRO	2022	297	\$1,571	\$2,209	\$3,873
4	Ascent at Top of the Hill	2022	258	\$1,501	\$1,969	\$3,138
5	Centric	2018	272	\$1,495	\$1,766	\$2,568
	Total / Weighted Avg.	2019	270	\$1,616	\$1,995	\$3,162
	Stokes West - proforma	2024	261	\$1,395	\$1,595	\$2,495
		percent b	percent below comp set		-20.0%	-21.1%

- PROJECT WILL INCLUDE 12 DEDICATED LOW INCOME RESTRICTED UNITS.
- 66% OF THE PROJECTS UNITS WILL BE **FURNISHED STUDIOS** WITH RENTS THAT WILL BE **AFFORDABLE**AT 80% AMI.
- DEVELOPMENT WILL **NOT** INCLUDE AIRBNBS.





TWO MOSAIC BENCHES INCORPORATING PHOTOS OF HISTORIC MOMENTS IN QUINCY PARK (FAIRFAX NEIGHBORHOOD), WITH DESCRIPTIONS OF NOTEWORTHY PEOPLE, BUILDINGS AND EVENTS OVER THE PAST 100 YEARS.

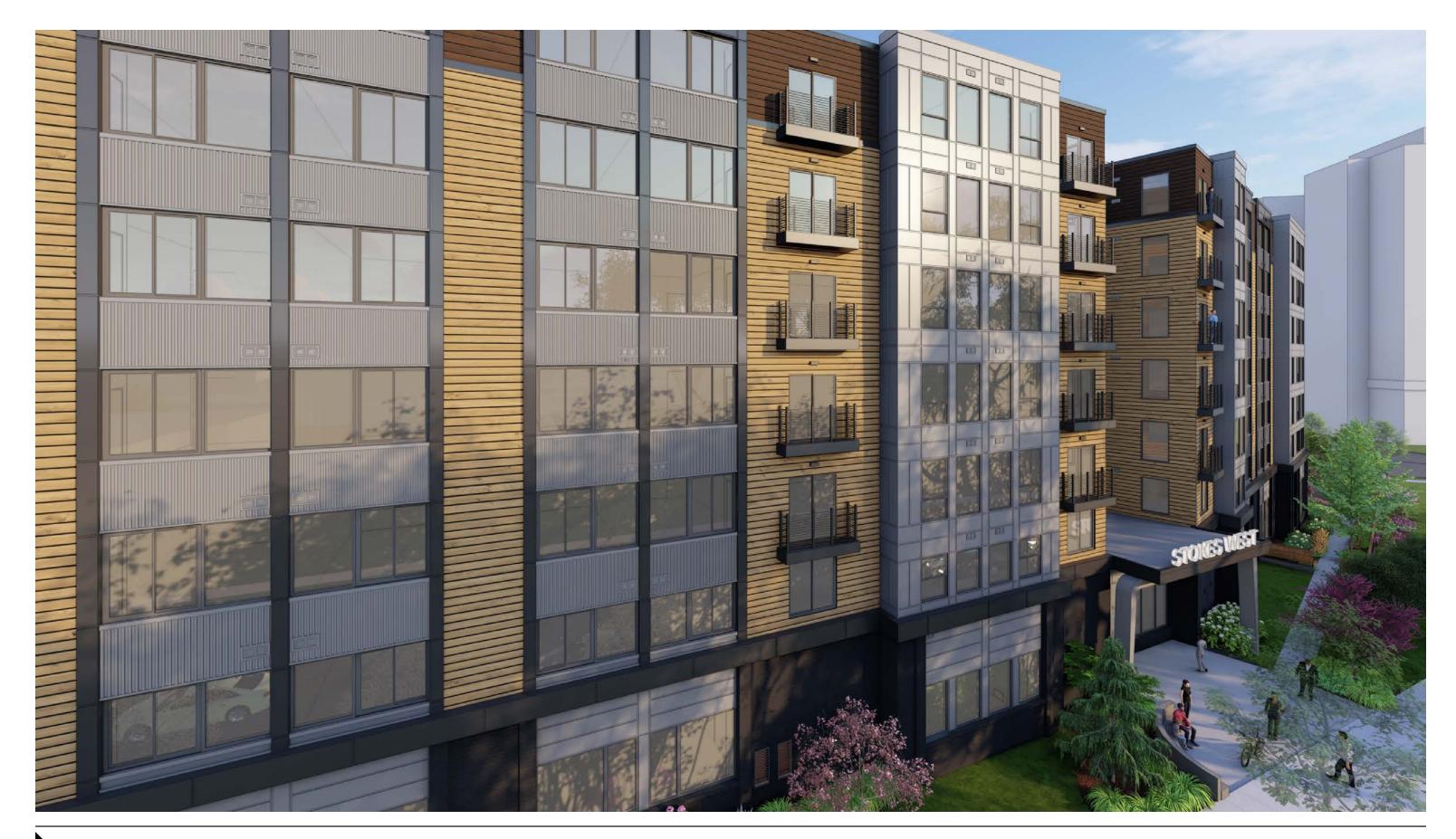


 LOCAL ARTISTS AND COMMUNITY ENGAGEMENT FOR PUBLIC ART





































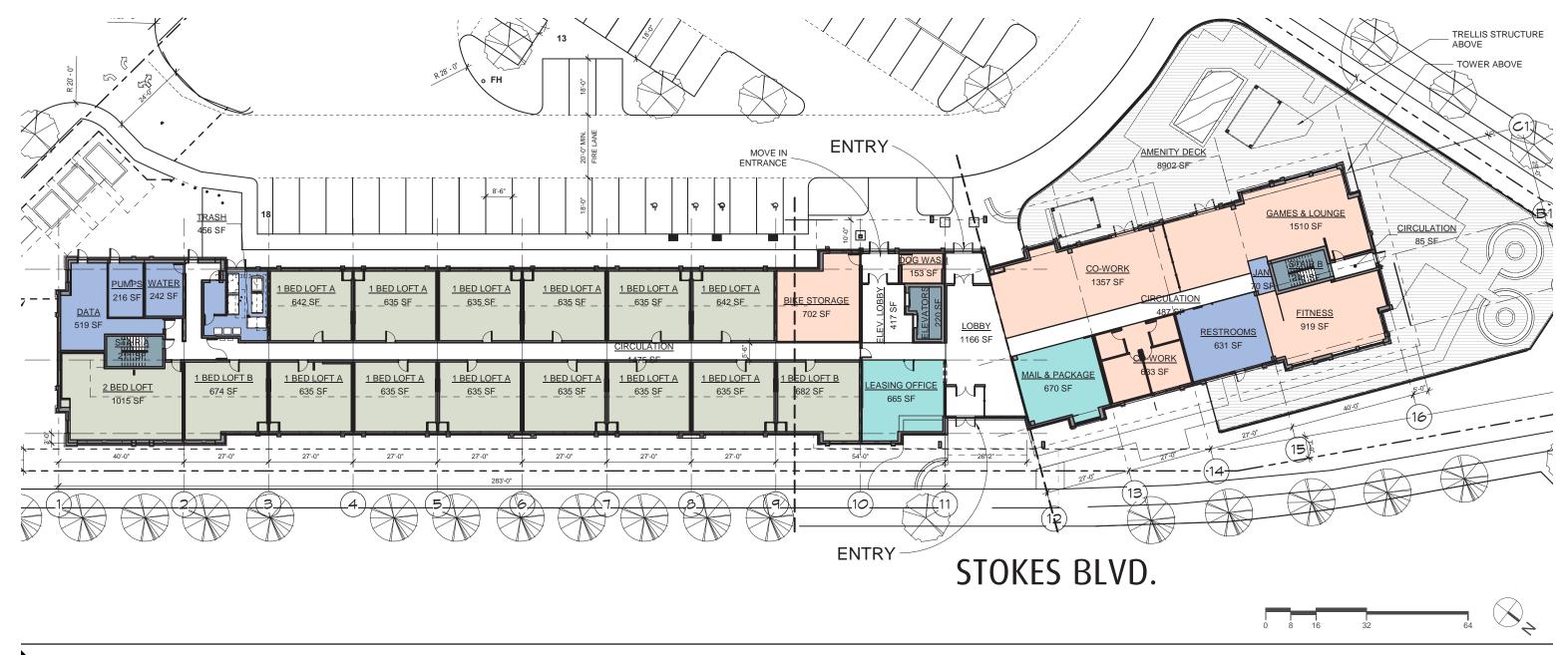




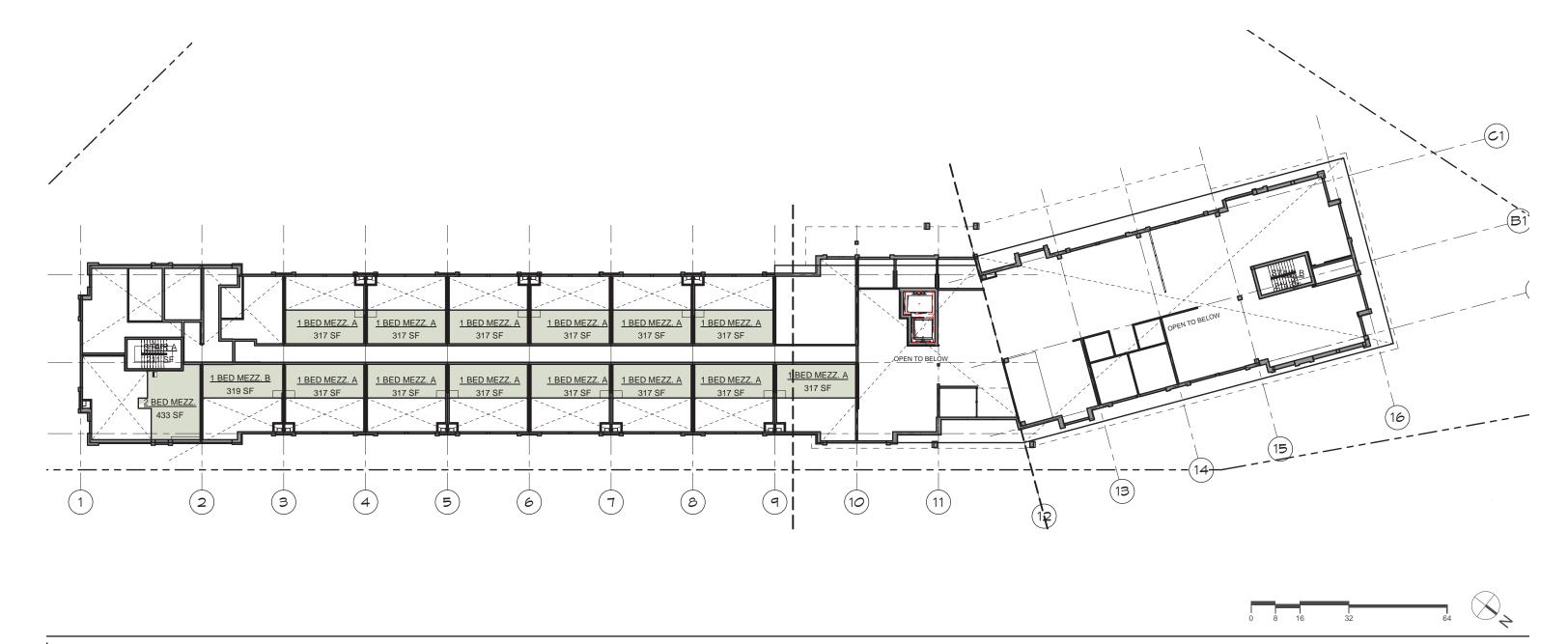




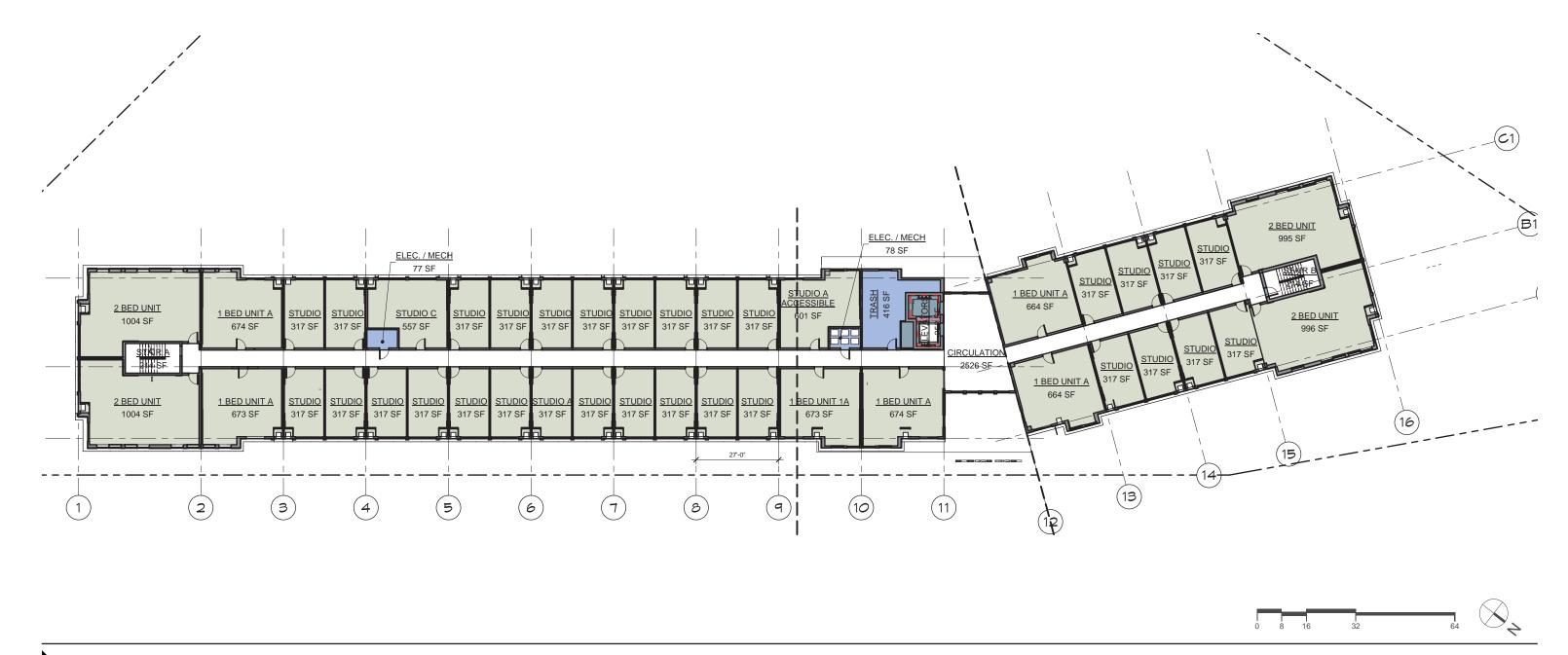




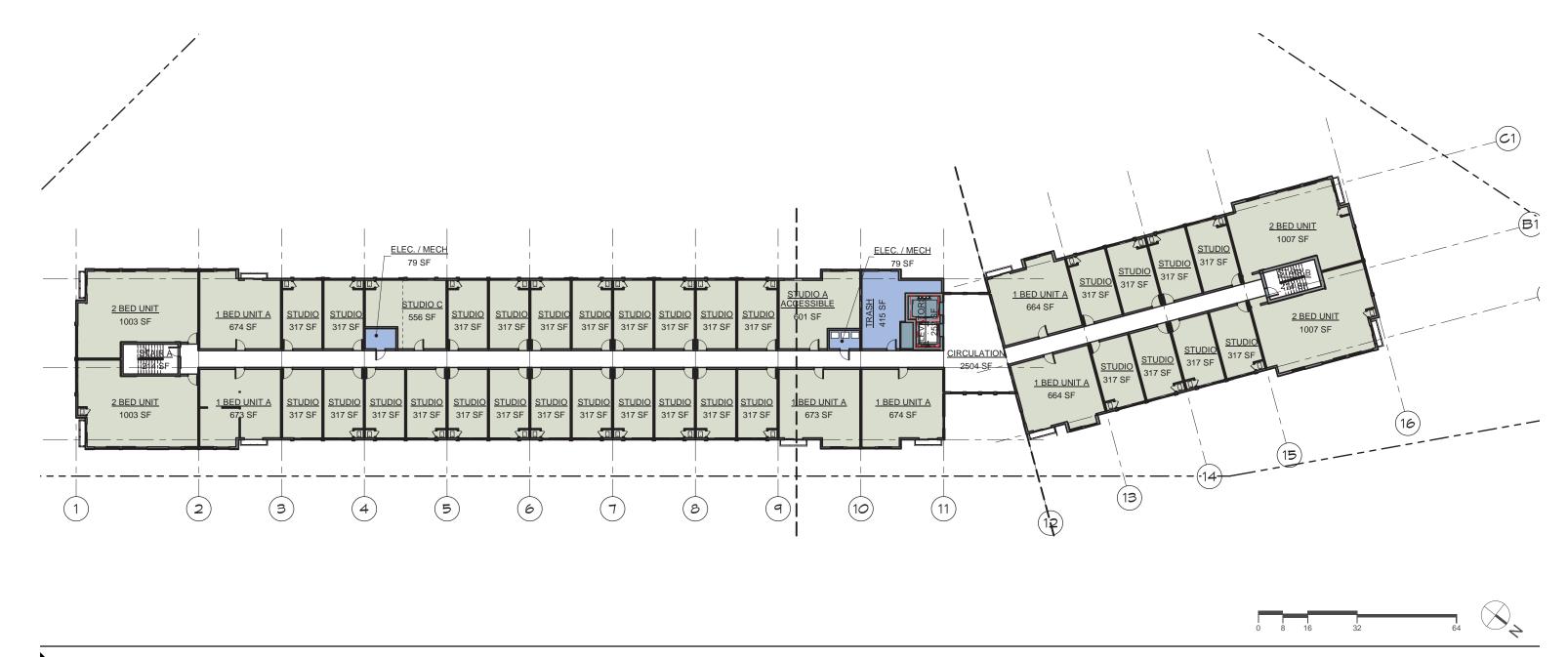




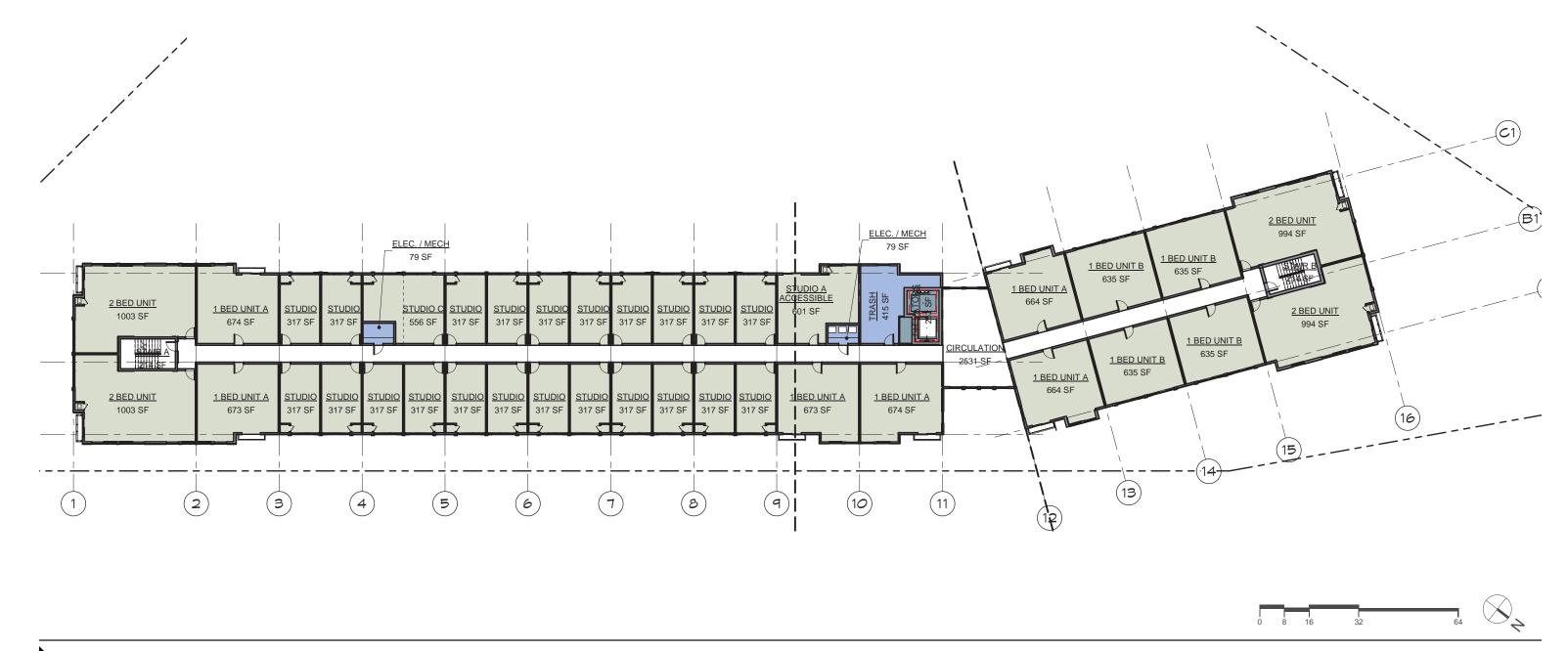




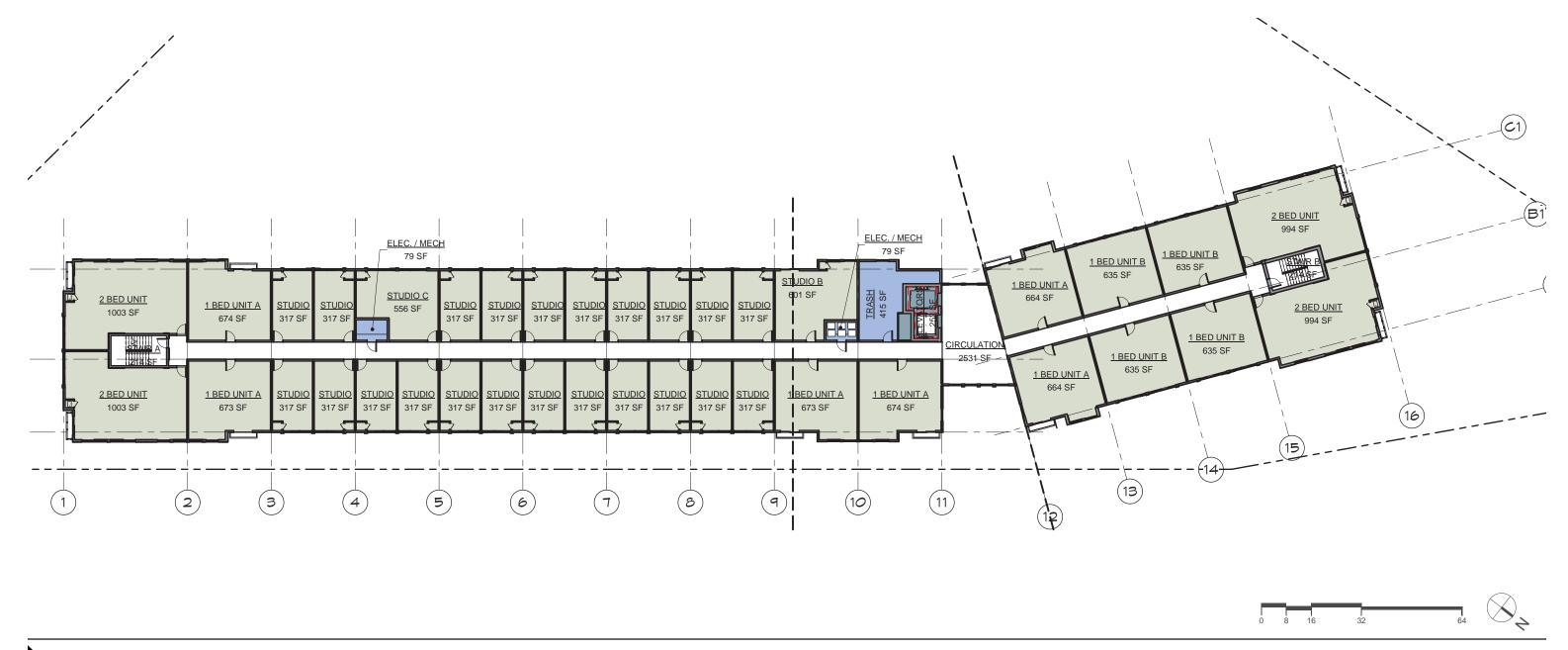




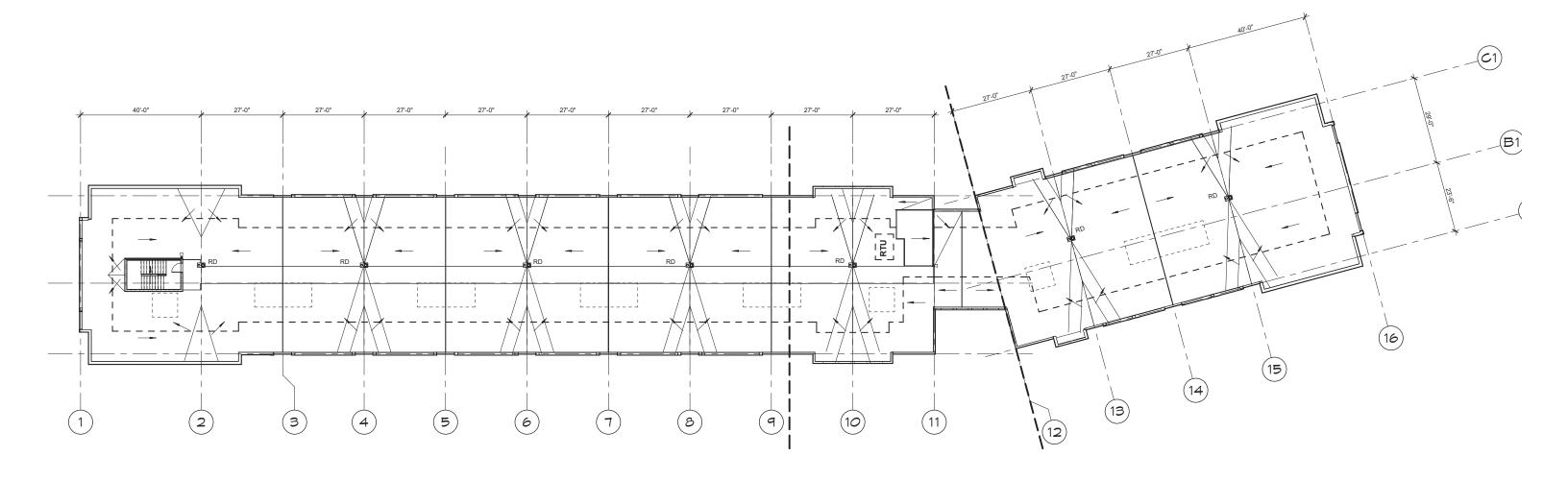




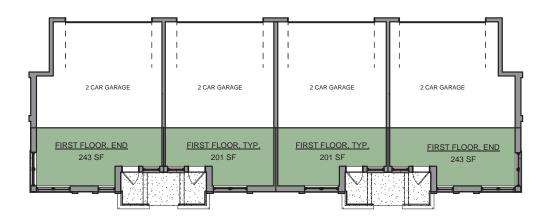






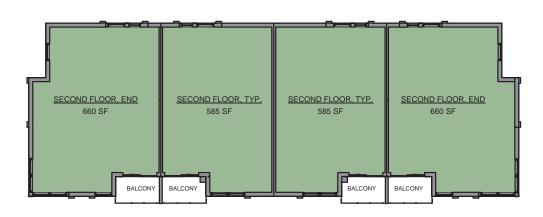


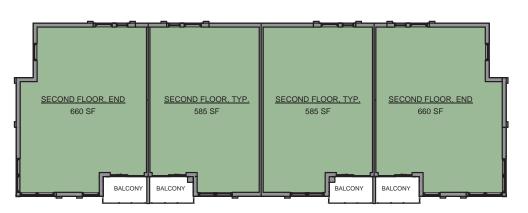




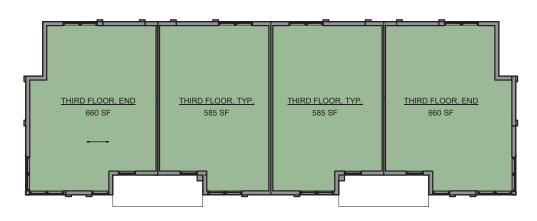


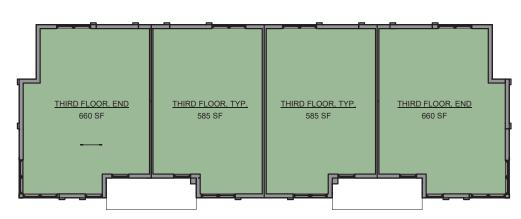
1ST FLOOR PLANS





2ND FLOOR PLANS



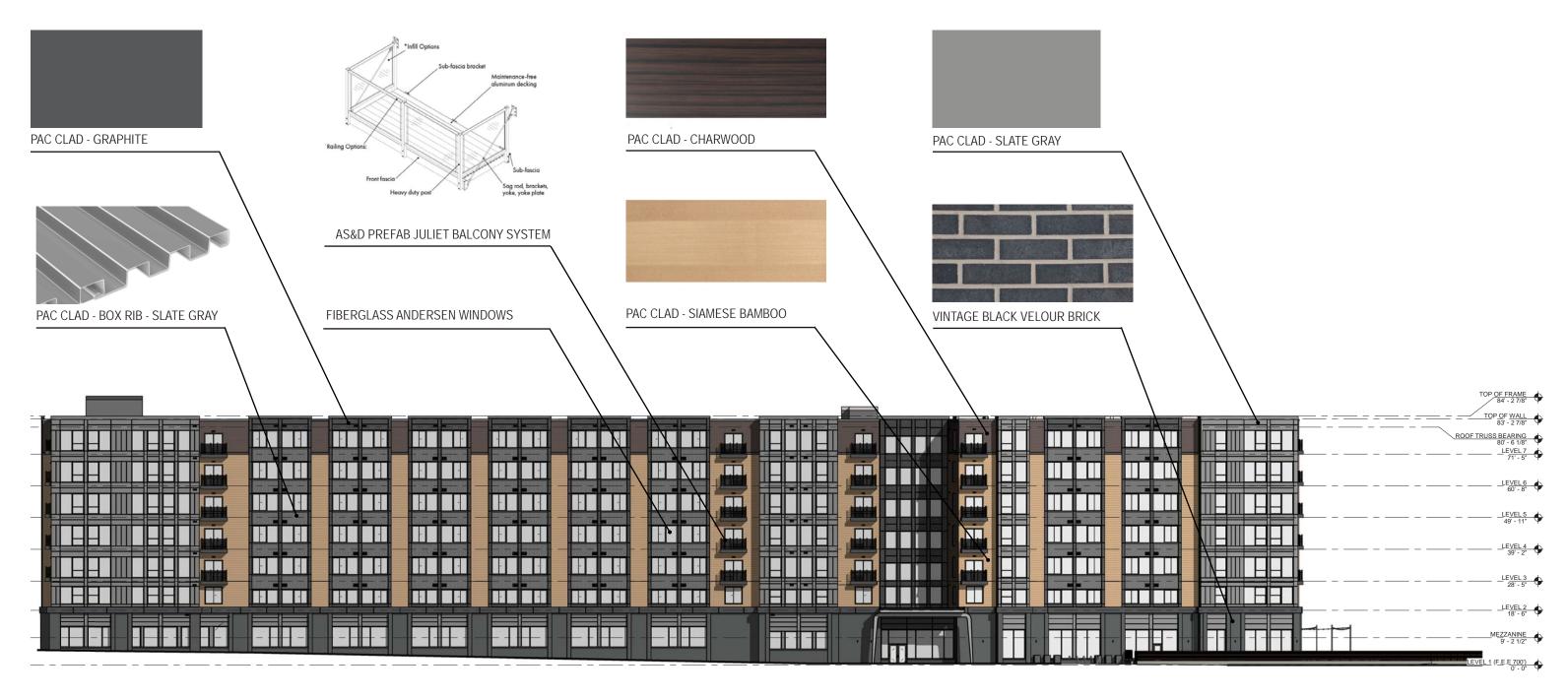


3RD FLOOR PLANS









EAST ELEVATION







NORTH ELEVATION SOUTH ELEVATION



WEST ELEVATION





SOUTH ELEVATION - TOWNHOMES



EAST ELEVATION - TOWNHOMES

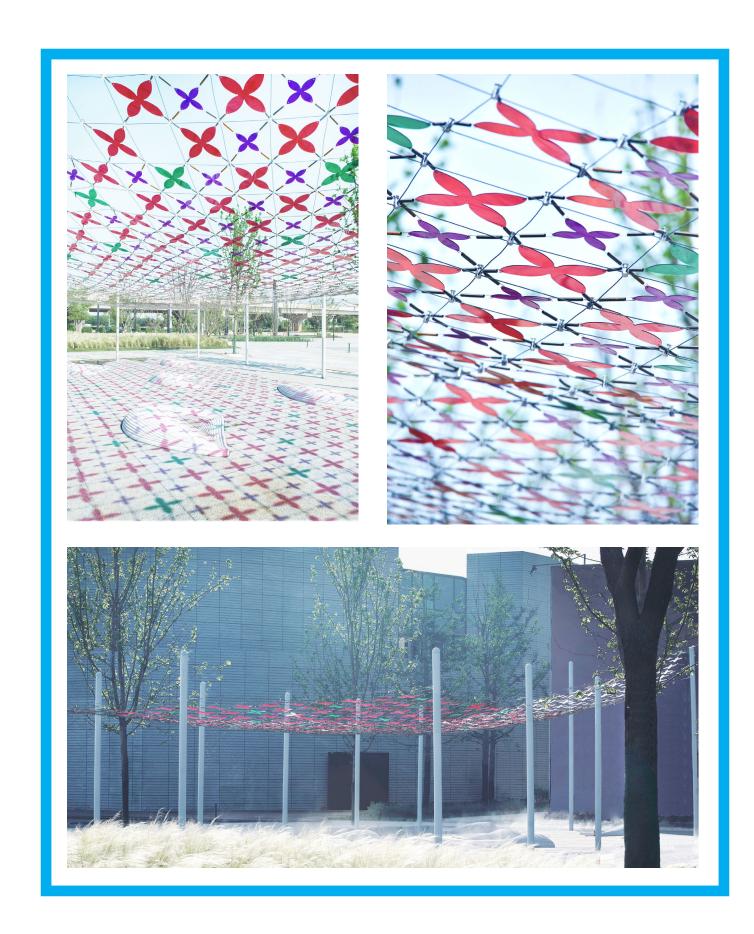


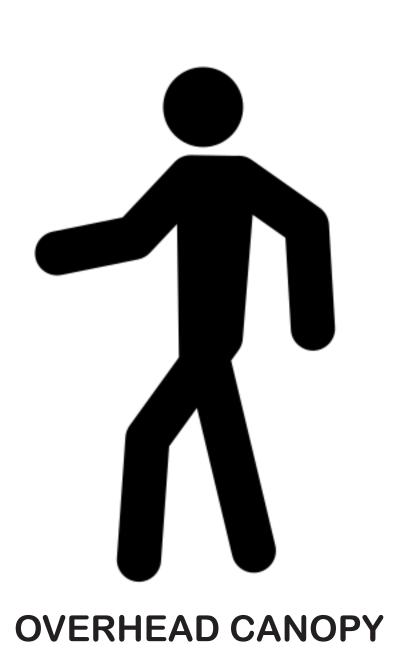
NORTH ELEVATION - TOWNHOMES

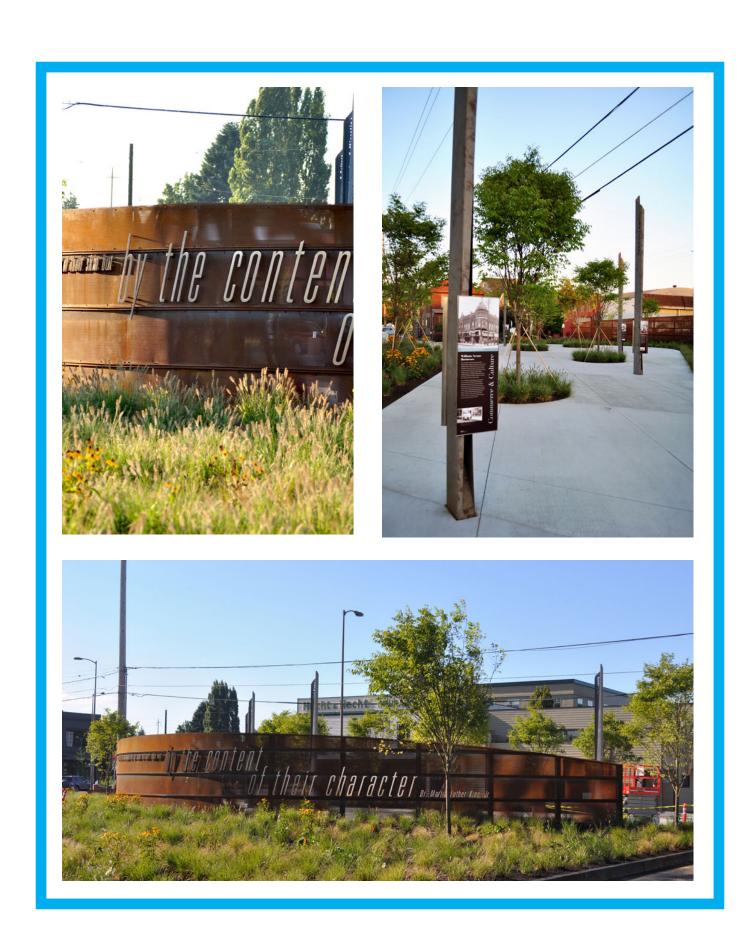


WEST ELEVATION - TOWNHOMES



























INSTAGRAMABLE MOMENT

May 5, 2023



Committee Recommendation: Approved with **Conditions:**

Concerns & Comments:

- 1- Clarify function of new space between the two townhome buildings in landscape plan updates.
- 2- Add some treatment on the wall, just right of entry door on building rear, to add visual interest.
- 3- Main building seems like a large & monolithic structure, and a significant departure from previous iteration.
- 4- Address section of building over front entryway so that, with window sizes and parapet height, it reads differently (e.g. increase window sizes, different material, more glass) so that the building can read as two separate volumes (more similar to previous design).

SPA: University



- 5- The main building is a solid extrusion, from floor to top, occasionally changing colors. The fenestration and articulation of the building's size feels incomplete, e.g. the balconies appear to be a system just hanging off of flat surfaces.
- 6- Compilation & assembly of materials feels patched.
- 7- Insure that landscape design in public realm is well designed and treated, not just mowed lawn.

SPA: University

- 8- Insure proper screening of electrical equipment near the corner of Stokes & Cedar.
- 9- Return with complete lighting plan.
- 10- Material on building ends appearnot to enhance the quality of the building.

Cleveland City Planning Commission

Staff Report



Downtown | Flats Design Review Case



May 5, 2023

DF2023-022 – Playhouse Square Video Ribbon Sign: Seeking Final Approval

Project Address: 1309 Euclid Avenue

Project Representative: Tom Einhouse, Playhouse Square

Committee Recommendation: Approved with **Conditions**:

- Raise signage above the entablature.
- Study extending signage to entire length of façade to better incorporate it into the architecture of the building

Ward 3 - Councilmember McCormack

SPA: Downtown



Proposal

Applicant is proposing business identification signage for Euclid Avenue & E 13th Street





Why City Planning Commission?

- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: (Administrative approval does not apply)
 - **Design Compatibility**: may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
 - **Design Guidelines**: any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
 - Minimum Variation: Any variation shall be the MINIMUM necessary to ensure design compatibility



Business identification wall &window signage for a single business is permitted to have a maximum sign face area as regulated by formula:

- Linear feet of building unit frontage (L x 1.5 + 25) = Max sf permitted
- (80ft) x 1.5 +25 =
 145 sf Max bussines
 identification wall
 signage permitted

Permitted 50% additional of max sign area permitted for Secondary Frontages.

Euclid 388.34 sf proposed (145 sf permitted)

Euclid Ave.

243.3 sf variance needed

E 13th Street 98 sf proposed (72.5 sf permitted)

25.5 sf variance needed



Major Public Assembly Facilities (or w/i 500 feet) In Central Business District (§347.20)

City Planning Commission may authorize variations beyond the required Sign Code & Design Review Regulations for Electronic Changeable Copy Signs that Identify:



Events at facility or nearby





PUBLIC SERVICE ANNOUNCEMENT PSA's

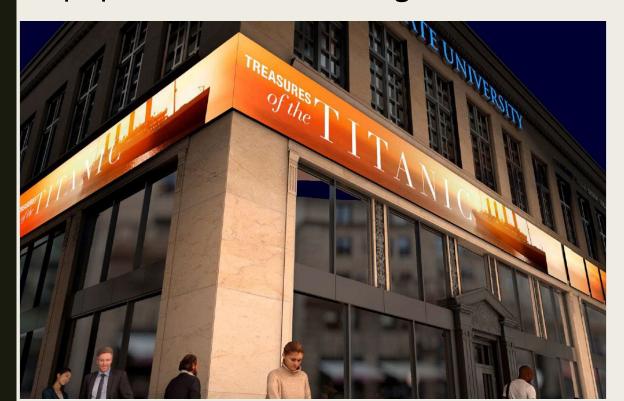


Products for Sale on Site

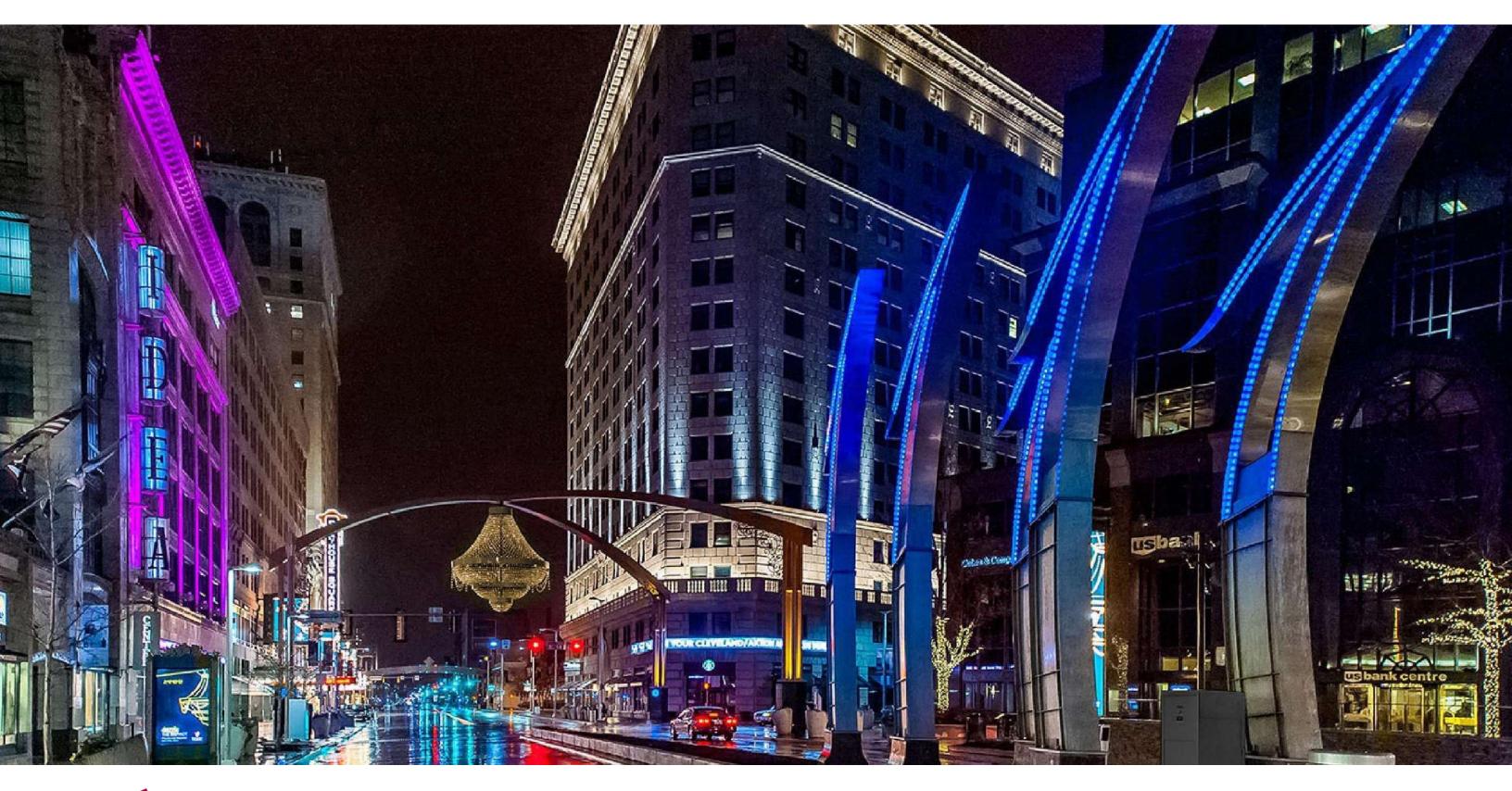


Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (Design Compatibility)
- ❖ Does this result in signage that follows CPC's standard of approved design guidelines?
- ❖ Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?









AGENDA

- APPLICATION FORM
- PROJECT SUMMARY
- SITE LOCATION/CONTEXT PLANS
- EXISTING CONDITIONS PHOTOS
- PROPOSED RENDERINGS
- DRAWINGS
- PRODUCT INFORMATION

APPLICATION FORM



Assigned Review Case Number:



Cleveland City Hall 601 Lakeside Avenue, Room 501 Cleveland, Ohio 44114 T: 216/664-2210 F: 216/664-3281 www.planning.clevelandohio.gov

Planning Commission/Design Review Application

DATE: April 12, 2023 PROJECT NAME: 1309 Euclid Video Ribbon PROJECT ADDRESS: 1309 Euclid Ave, Cleveland, Ohio 44115 PROJECT LOCATION (if no address): **CONTACT PERSON** (for design review): Tom Einhouse **COMPANY:** Playhouse Square Foundation EMAIL: tom.einhouse@playhousesquare.org PHONE: 216-832-5121 **OWNER: Playhouse Square Foundation** ARCHITECT/ CONTRACTOR: Design - Barnycz Group and DLR, Contractor - DCL **USE TYPE:** ☐ Residential ☐ Commercial ☐ Industrial ☐ Institutional ☐ Mixed-Use Review Level: ☐ Storefront ☐ Conceptual ☐ Schematic Design ✔ Final Design Development I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project. Signature and date (For staff use only) Received by: Design Review District Name:

PROJECT SUMMARY



Playhouse Square 1309 Euclid Video Ribbon

Playhouse Square Foundation owns 1309 Euclid, which is a 2 story building located on the corner of E13th and Euclid. It stands at a prominent corner of the Theatre District. As such, it helps to define the entry into a unique and vibrant district. We propose to add an artistically designed video board that will fit within the architectural design of the building and will compliment the vibrancy of the west end of the district. The use of the building will include a new space for traveling exhibits, a restaurant, and the current occupancy of the Kent State Urban Design Center. The abutting sister building at 1317 Euclid will be the new home of the City Club of Cleveland. The ribbon will also be used to promote activity for the City Club.

Background:

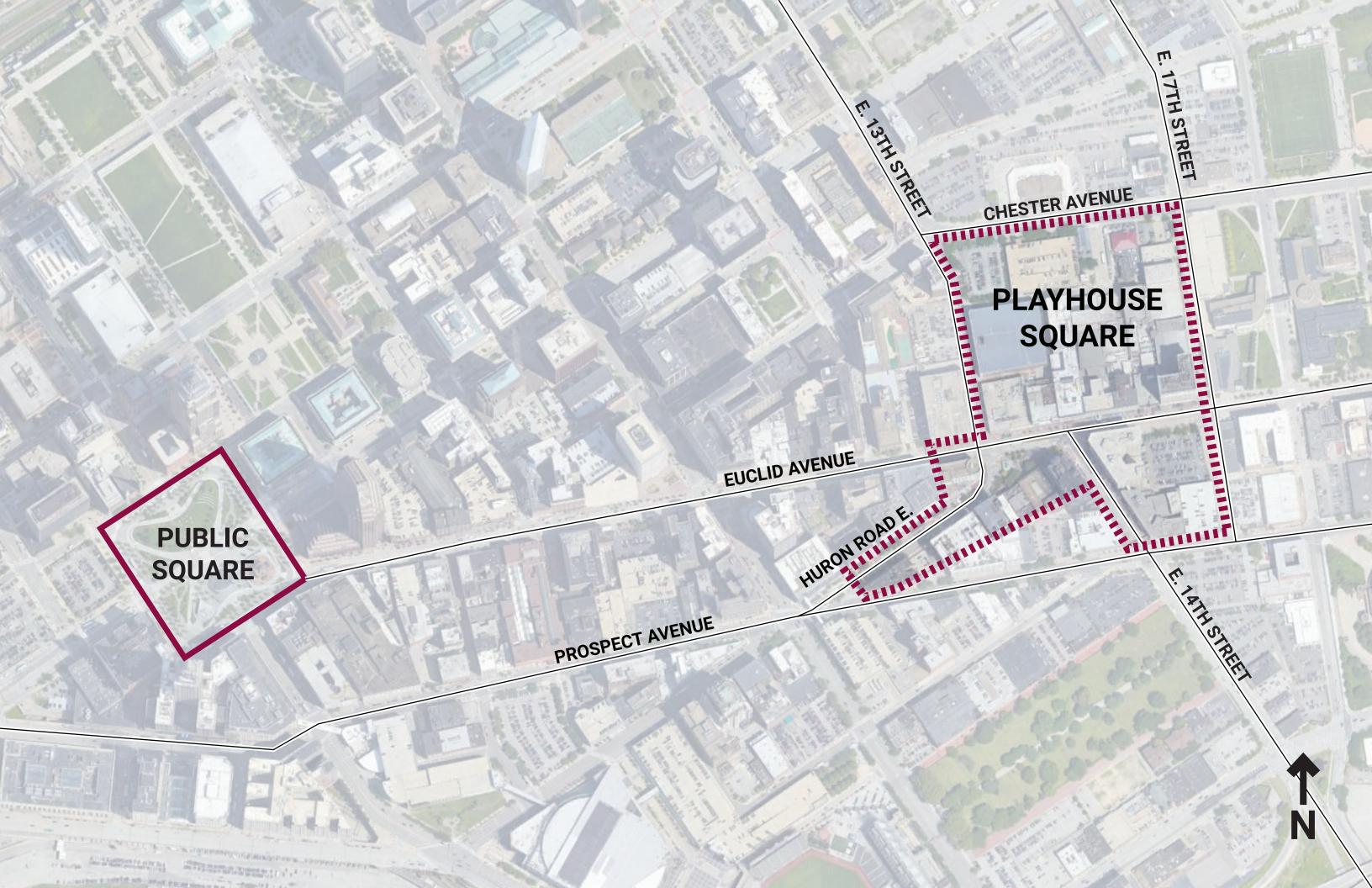
Until the construction Cleveland's Music Hall and Public Auditorium, E13th was the home of the Wigmore Coliseum, which served as the City's convention center. That building is now known as the Middough Building and houses the CSU performing and visual arts studios and classrooms as well as the offices, rehearsal studios and costume shop for the Cleveland Play House. As the Wigmore Coliseum it added incredible vibrancy to the street as evidenced by historic photos showing lights strung across the street for an electricity exposition. This project in many ways celebrates that history.

Current Conditions:

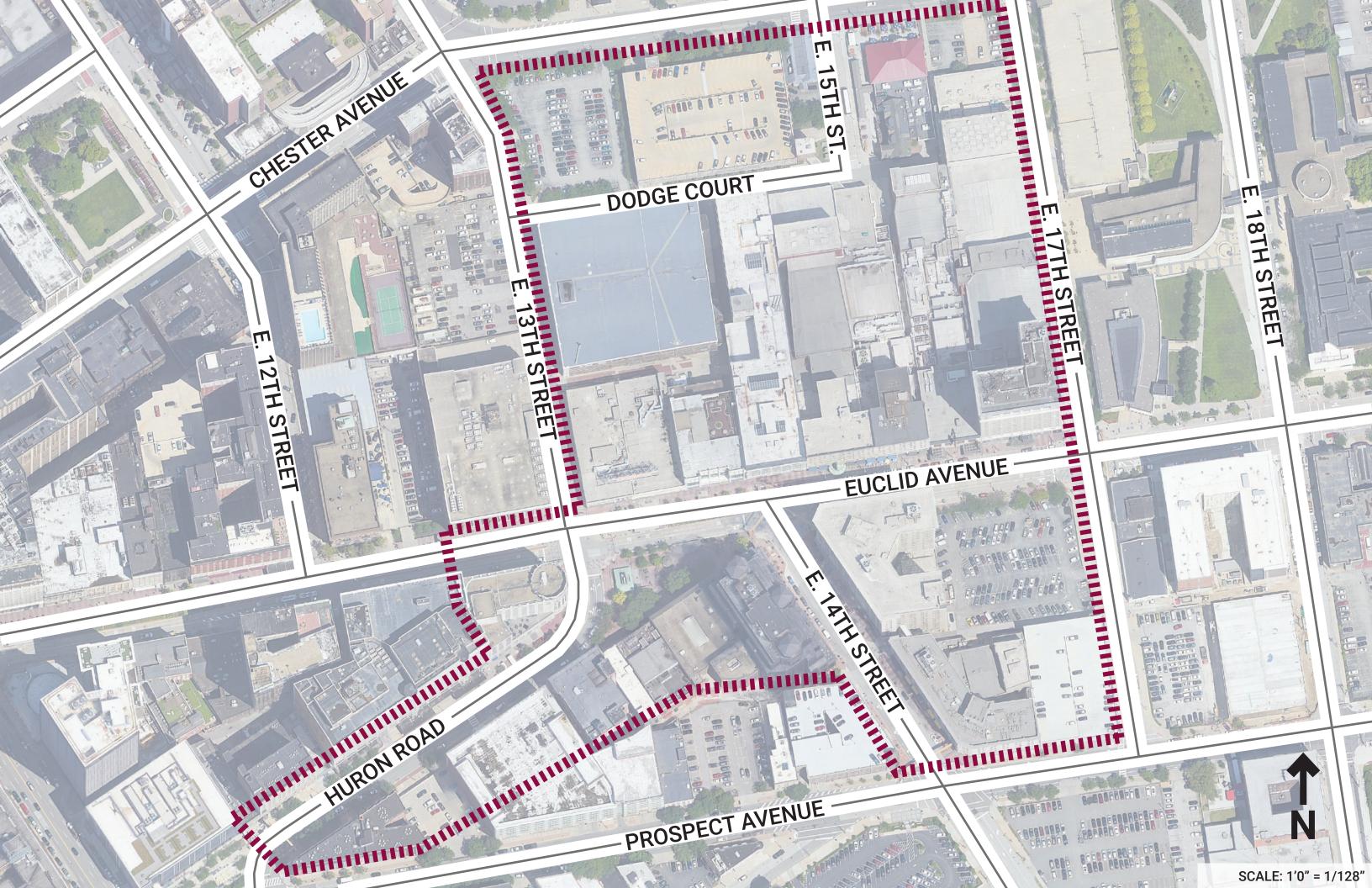
1309 Euclid is currently occupied on the second floor by the Kent State Urban Design Collaborative, and by an art gallery run by Cleveland State University. Cleveland State will be moving the gallery to a new location this year. The building is in sound condition, and the façade was completely restored around 2010.

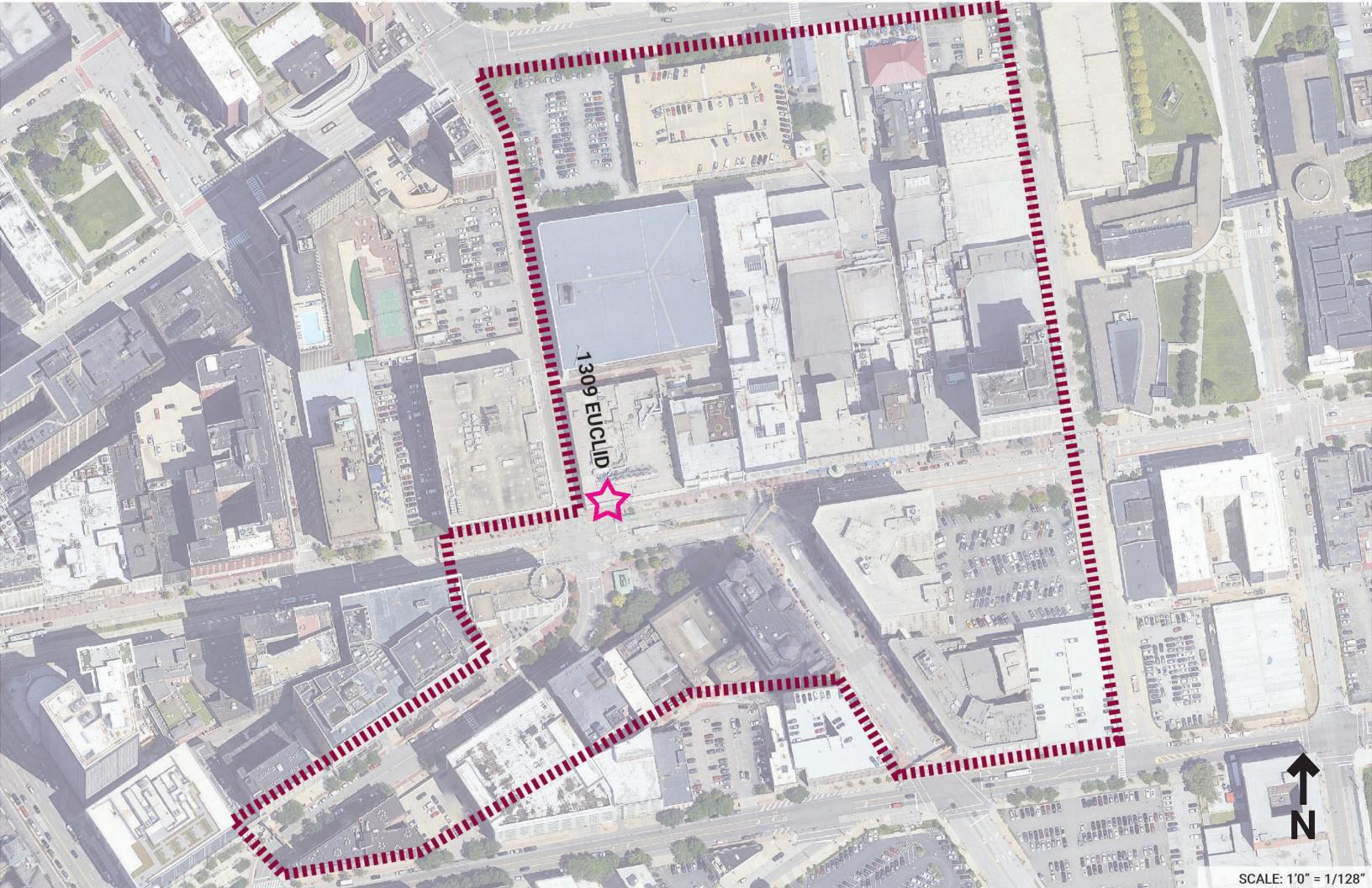
Tom Einhouse Vice President of Facilities and Capital 1501 Euclid Avenue Suite 200 Cleveland, Ohio 44115

SITE LOCATION MAP



SITE CONTEXT MAP





EXISTING CONDITIONS PHOTOS





PROPOSED RENDERINGS





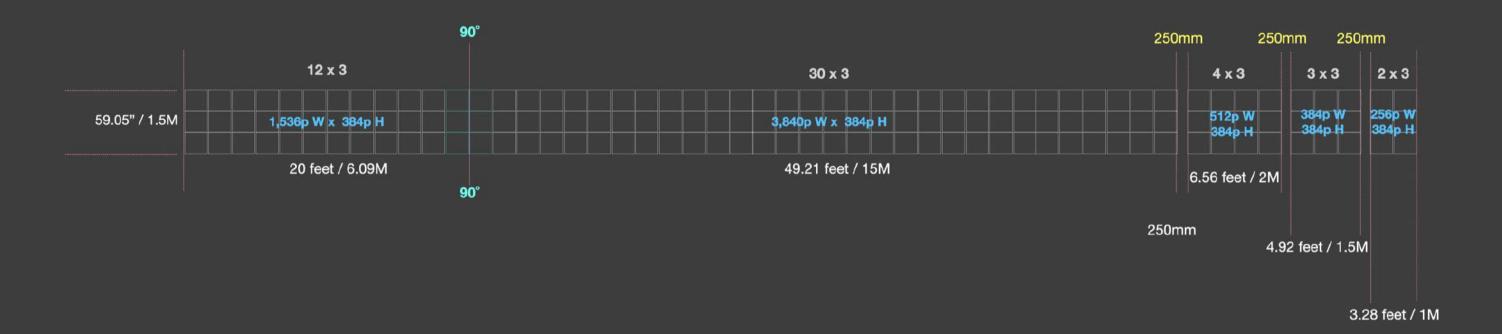




DIMENSIONED SIGN DRAWINGS

(Tiles are 500mm x 500mm)

51 x 3 Tiles =153 Tiles Total



PRODUCT INFORMATION

VIDEO PANELS LED DISPLAYS





Offering a brightness up to 4500 nits with high contrast, the video experience of the Tulip 3.9mm display is second to none on a screen of this resolution for outdoor applications.

The Tulip delivers physical resolution of 66K pixels per square meter and accurate reproduction of 281 trillion colors at a wide viewing angle of 160 degrees.

The Quick Connect cabinet incorporates a special latch design for speed and ease of installation. This family of products is designed with enough durability for 24/7 operation but also offers the full elegance and high color fidelity required for close viewing.

Key features

- For outdoor applications
- 4500 nits high brightness
- Quick Connect cabinet design



PRODUCT INFORMATION



023

May 5, 2023

Committee Recommendation: Approved with **Conditions**:

- Raise signage above the entablature.
- Study extending signage to entire length of façade to better incorporate it into the architecture of the building

SPA: Downtown

Cleveland City Planning Commission

Special Presentations



Special Presentation

May 5, 2023

Fairfax Strategic Investment Plan Update

Presenter: Denise Van Leer, Fairfax Renaissance DC

SPA: Fairfax



FAIRFAX STRATEGIC INVESTMENT PLAN 2022—2027

PREPARED FOR

Fairfax Renaissance Development Corporation

FUNDED BY

Cuyahoga County The Enterprise Foundation

CONSULTANT TEAM

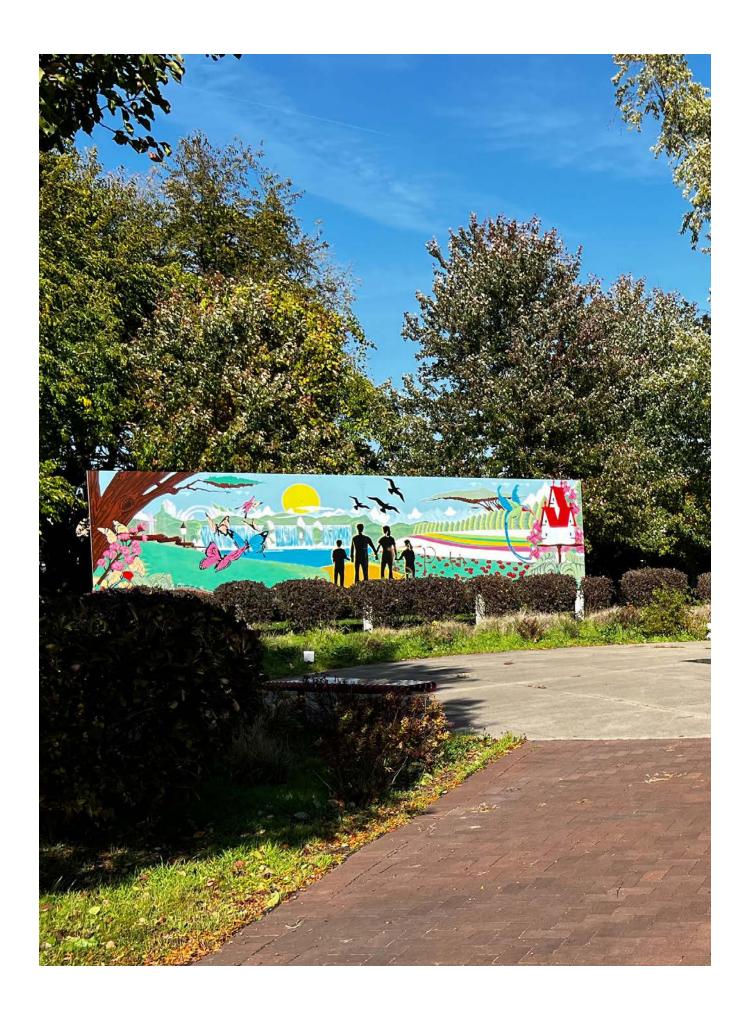
Urban Design Associates



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EXECUTIVE SUMMARY

The 2022-2027 Fairfax Strategic Investment Plan is about celebrating the victories that have been achieved in the neighborhood despite obstacles while acknowledging the road ahead.

The 2022 Fairfax Strategic Investment Plan (SIP) is a document that outlines the next chapter for the Fairfax community over the next five years. The 2014 plan outlined initiatives to advance community goals into 2019, and planning began for the 2020 plan in January 2020. Soon after, the COVID-19 pandemic began, creating major shifts in the community. Even with these seismic changes, Fairfax Renaissance Development Corporation (FRDC) continued advancing the goals outlined in the 2014 plan. With resident and stakeholder input, as well as FRDC guidance, new objectives for 2022 through 2027 were defined and refined to enhance and support the work already being done in the neighborhood. The SIP is about celebrating the victories that have brought the neighborhood to this point, despite obstacles, while recognizing the work still to be done.

Document Overview

This document is organized into two primary sections: Process and Strategic Initiatives. The process section will describe FRDC's and Urban Design Associates' (UDA) collaboration with the community and neighborhood stakeholders to gather critical feedback on what is working in the neighborhood today and what can be improved upon to inform FRDC's focus over the next five years. The Strategic Initiatives section will illustrate how key priorities identified by residents can be transformed into actionable plans, improving the quality of life for all residents of Fairfax.

Process

FRDC and UDA have worked together since the mid-1990s to create a comprehensive vision for the revitalization and sustained success of Fairfax. During this time, FRDC and UDA have collaborated closely with the community, listening with intention, and striving to create actionable and realistic proposals, such as Griot Village, new grocers like Meijer, and a variety of other neighborhood supporting uses. For the 2022 SIP, there were neighborhood tours and two public outreach events to gather community and stakeholder feedback. In the following pages, you will find a recap of these engagement efforts and how they informed the Strategic Initiatives recommendations.



Portrait of Existing Conditions



Residents at a Community Meeting



New mixed-income housing at Innovation Square



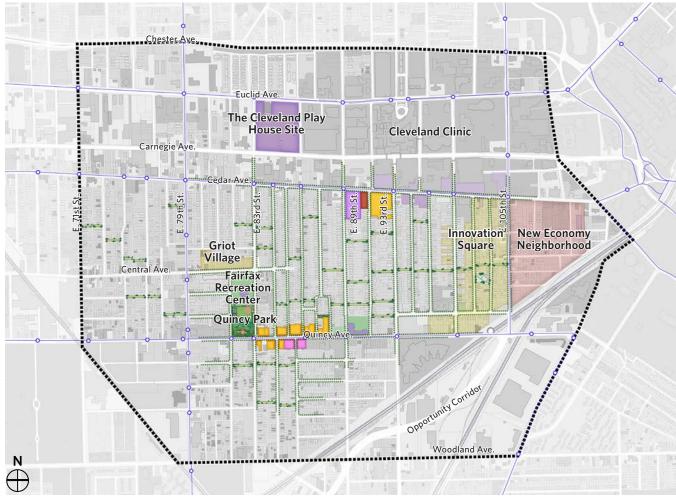
Quincy Park

Strategic Initiatives

During the two public outreach events, residents provided invaluable feed-back about things in the community they liked and were working well, such as access to new grocery options, and things in the community that need work, such as improved communication about training, jobs, and services. In the end, five themes were consistently mentioned:

- Develop design principles for the Cleveland Clinic's Cleveland Play House Site
- Refresh the plan for the Cedar Avenue Commercial District
- Create a strategy for attractive pedestrian connections through vacant lots
- Improve communication-related to available training, jobs, services, and events
- Advance the Quincy Avenue Arts District





2022 Initiative Areas

BACKGROUND

CREATING A MASTER PLAN FOR FAIRFAX

In the mid-1990s, FRDC initiated a comprehensive master planning effort to be a catalyst for sustainable neighborhood and economic development in the Fairfax neighborhood. The process brought together residents and stakeholders to create a comprehensive neighborhood revitalization vision. UDA led the master planning process with community meetings, stakeholder meetings, and design workshops. The plan that was developed focused on:

- Revitalizing the heart of the Fairfax community
- Developing strong new centers around community anchors
- Reconnecting Fairfax with adjacent communities, both physically and through more effective relationships

1998-2002

- Updating the original Master Plan
- Building 200 new and rehabilitated 500 existing houses
- Developing Quincy Place, an 85,000 sq. ft. building housing community services

2002-2008

- Envisioning the first 5-year SIP
- Perpetuating the rehabilitation of houses through the Model Block Program
- Assembling property for the Emmanuel Square mixed-use development
- Groundbreaking for the Global Cardiovascular Innovation Center and Juvenile Justice Center
- Implementing streetscape improvements along many commercial and residential properties, including the reconstruction of Quincy Avenue
- Developing Quincy Park, the neighborhood's largest green space at that time
- Transforming the vacant Langston Hughes Library into the new home of Senior Outreach Services, a longstanding Fairfax neighborhood stakeholder



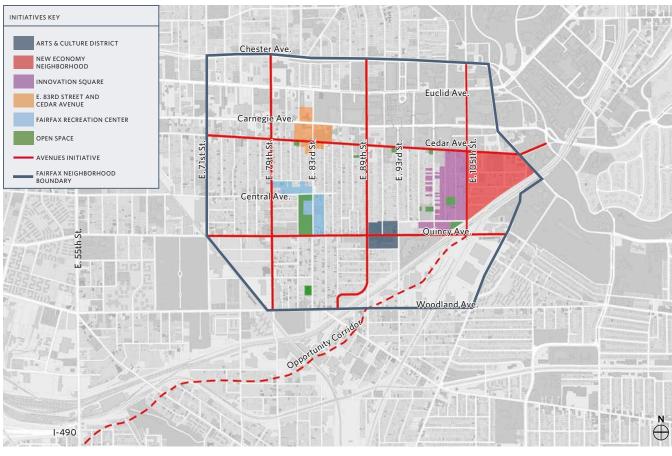
The Winding Wall of Fairfax History is a community art installation located in Quincy Park that charts the history of the Fairfax Neighborhood.



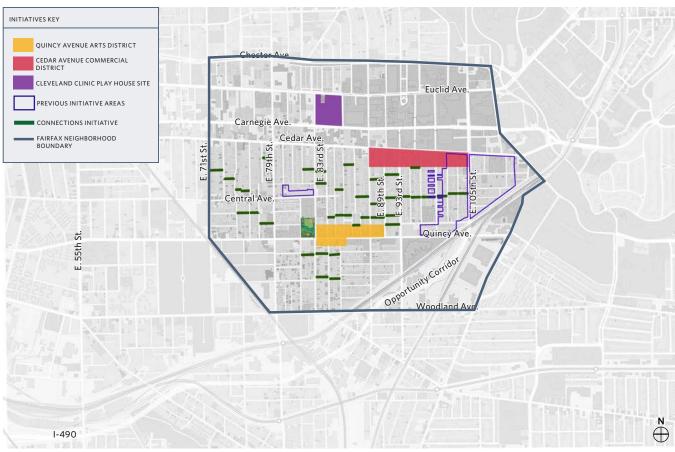
Quincy Place is an 85,000 sq. ft. office building that houses a large number of community services in the Fairfax Neighborhood.



The Langston Hughes Health and Education Center is a community health anchor primary care, social services, health education, and more all under one roof.



2014 Strategic Development Initiatives



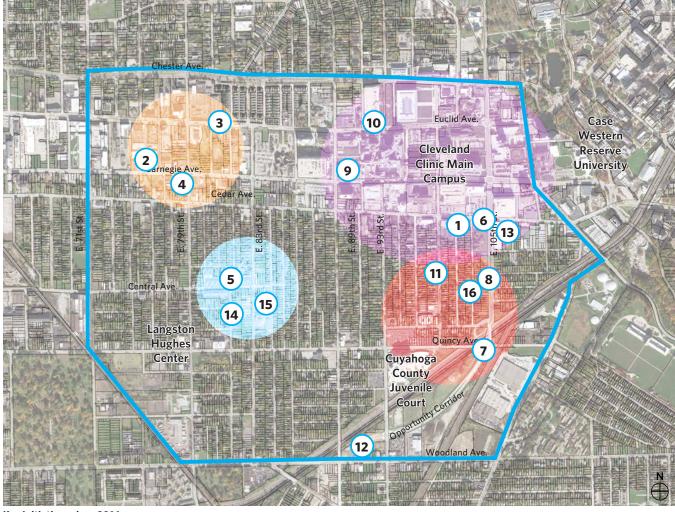
2022 Strategic Development Initiatives

2009-2014 (The Great Recession)

- Envisioning the first 5-year SIP update
- Led with partners the Opportunity Corridor planning process
- · Perpetuating rehabilitation through the Model Block Program
- Consolidating vacant property for future infill
- Building of the new Cuyahoga County Juvenile Center
- Developing Rumi's Market and Deli
- Implementation of PNC Fairfax Connection
- Reconstructing Cedar and Central Avenues
- Groundbreaking for Griot Village, Fairfax's intergenerational housing



PNC Fairfax Connection Provides a variety of community resources and programs with a focus on financial literacy



Key Initiatives since 2014

2014-2022

- Emerging new, small, and Black-owned businesses
- Expanding Cleveland Clinic services and campus
- Building of Opportunity Corridor and Griot Village
- Implementing new transit investments
- Creation of green spaces like Playwright Park
- Developing new housing featuring a mixed-use/mixed-income model in Innovation Square



New Meijer Grocery Store Under Construction























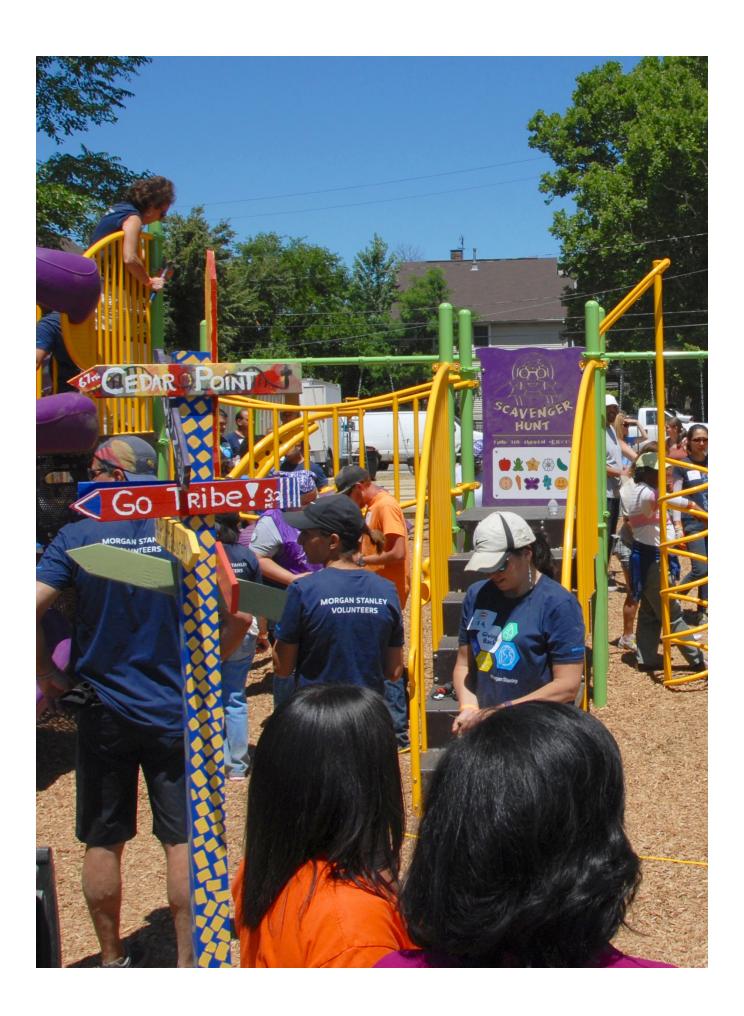


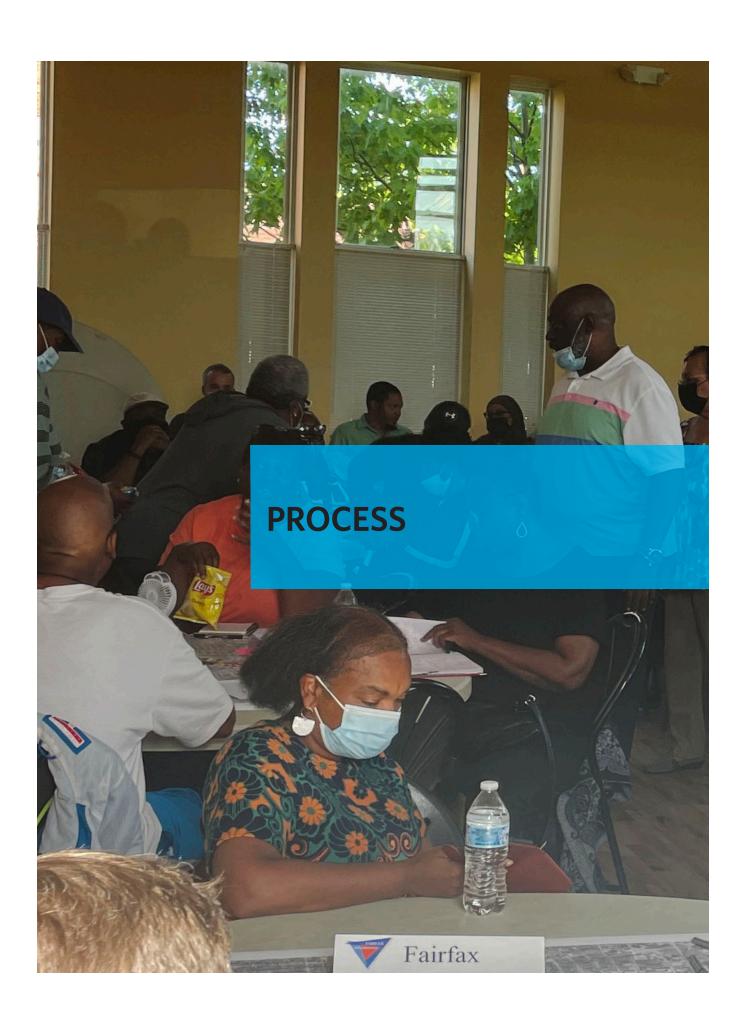












THE THREE STEP PROCESS

Updating the FRDC SIP for 2022 started with listening to residents and stakeholders, testing ideas, and prioritizing a course of action for the next five years.

Resident and stakeholder input was critical to FRDC framing the top priorities for the next five years. The process included three steps:

- Listening: Hearing community voices through community meetings and stakeholder meetings
- **Testing:** Studying multiple options to find the balance of what is achievable with what is desired
- Deciding: Narrowing down alternatives to top priorities for the update

The listening step began with the UDA and FRDC team convening in Cleveland to tour the neighborhood, discuss investments since 2014, and meet with the community and stakeholders to solicit input. Following the listening events, UDA documented initial draft priorities. FRDC then met with UDA to refine the priorities and rank their community needs and FRDC's capacity. Once the top initiatives were identified, UDA returned to Cleveland to discuss the proposed plans with residents to ensure their input was accurately reflected. Specifics from this meeting are reflected in the final SIP.







Community Meetings were held during the process to discuss what residents wanted to see as top priorities over the next five years.

Listening Testing Testing

Listen, Test, Decide is the three step process that was used to refine the 2022 FRDC SIP

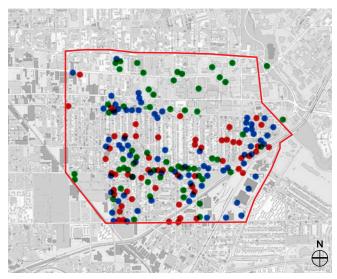
Deciding



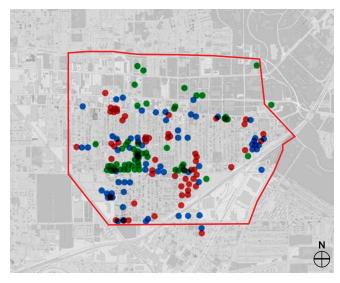
STRENGTHS, WEAKNESSES, & OPPORTUNITIES

The Dot Exercise

Community members were asked about the current strengths, weaknesses, and opportunities in the neighborhood, as well as if they had a single top priority for FRDC moving forward, and what would it be. The dot exercise has been an important tool to document change in neighborhood needs and sentiments over the years. Visions, like Opportunity Corridor, grocery options, and new housing have become realities, while weaknesses, like vacant lots, continue to be a challenge.



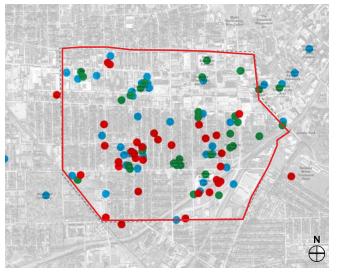
2003 Dot Exercise Residents placed dots on locations they perceived as strengths (green), weaknesses (red), and visions (blue) in the neighborhood.



2008 Dot Exercise Several very dense areas of dots make apparent the progress and changes within the community in the past half-decade.



2013 Dot Exercise Pockets of weaknesses have been identified, but great opportunity and strength are seen along the east-west avenues.



2022 Dot Exercise Weaknesses focused on inequity in new development and the large number of vacant lots in the neighborhood, but opportunity clustered around the former Play House site and connections outside of the neighborhood.

Engagement Summary

The listening process began with a community meeting that helped set the tone for the SIP update. The findings were broken down into five topic areas, housing, jobs and job training, parks and recreation, community culture and history, and local retail and community services.

Housing

- Preserve existing housing & provide support for homeowners looking to make improvements to their residence
- Ensure new housing developments are equitable & affordable
- · Re-purpose vacant land with new housing

Jobs & Job Training

- Leverage the numerous educational & medical jobs in the neighborhood to provide employment opportunities for Fairfax residents
- Support residents with job training to ensure that current and future employees can have access to the workforce

Parks & Recreation

- Reinvest in aging parks & recreational facilities in the neighborhood
- Community, Culture, & History
- Preserve and celebrate Fairfax's rich history and culture
- Prioritize bringing the community together to celebrate the rich history and culture

Local Retail & Community Services

 Support a variety of needs, such as local retail, food, & community-serving resources as new development occurs Create new housing with local retail, food, + entertainment

Program consistent community events + youth support services

Improve parks + open space to better serve resident needs

Create pedestrian friendly streets with improved public transit

Develop financial programs that can support homeowners

Provide more educational opportunities for the youth

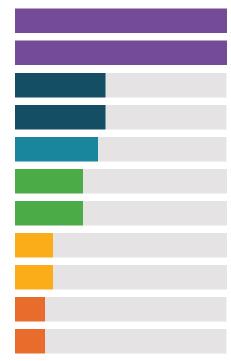
Increase job opportunities with local health + educational institutions

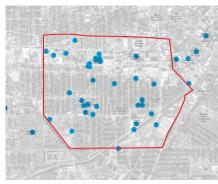
Celebrate the arts + culture with public programming

Foster collaboration between the community + institutions

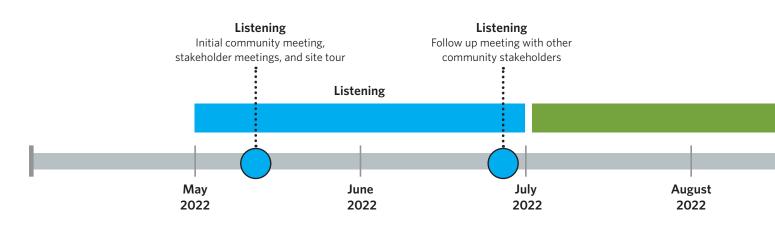
Provide better access to fresh + healthy foods

Beautify vacant land or make available to nearby residents





Opportunities the most opportunity was highlighted at the former Cleveland Play House site, the Fairfax Rec Center, Quincy Park, and around the schools.



Opportunities

The greatest opportunity was highlighted as creating new housing with local retail, food, and entertainment. This was paired with programming consistent community events and supportive services and improving parks and open spaces. Pedestrian-friendly streets with improved public transit options were also highlighted as opportunities.

Strengths

The top strengths in the neighborhood focused on the people and community, as well as the strong institutions that make Fairfax a unique place to live, work, and thrive. Some highlights of the strengths during this SIP update were the "great selection of grocery options," an amenity that has been a long time coming in the Fairfax neighborhood.

The people create a strong sense of community

Several arts, cultural, religious, + medical institutions

New + existing developments with quality residential + commercial uses

Great public + private schools

Many neighborhoods have rich history + historical buildings

Recreational facilities + public parks

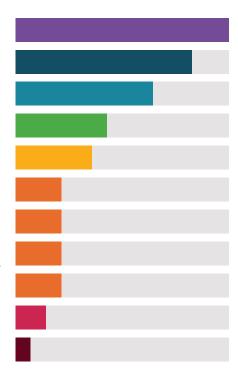
Great selection of grocery options

Centrally located to other neighborhoods + regional destinations

Reliable local government + non-profit support services

Upgrades to transportation improved connectivity

Neighborhoods are very walkable

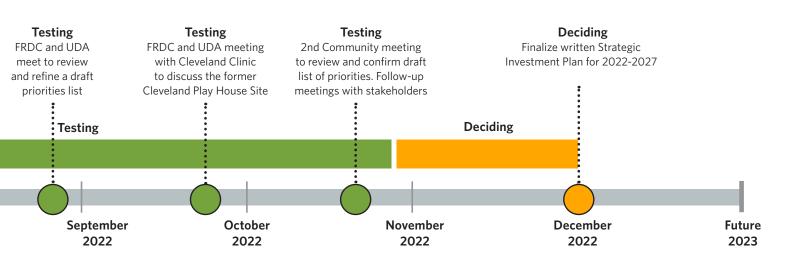




Strengths The Langston Hughes Center was highlighted as a neighborhood strength



Strengths Innovation Square, Quincy Park, and Karamu Performing Arts Theatre were some of the neighborhood locations to receive several green dots.



Weaknesses

The most significant weaknesses discussed in the neighborhood included inequity in new housing and commercial development. This was particularly important in the context of a large number of vacant lots and abandoned properties. While FRDC owned lots are maintained, other vacancies were criticized for their physical appearance, lack of maintenance, and general upkeep. The community also expressed a desire for more public events to bring the community together. During the testing phase, residents raised concerns about financial support for small repairs and maintenance to help existing residents stay in their homes. There was also strong continued community concern about the decline of the Fairfax Recreation Center.

Inequity in new housing + commercial development

Vacant + abandoned property negatively effects quality of life

Lack of public events that bring the community together

Poor commercial property maintenance + dumping issues

Traffic issues such as speeding + congestion

Outdated + unimproved public recreational facilities

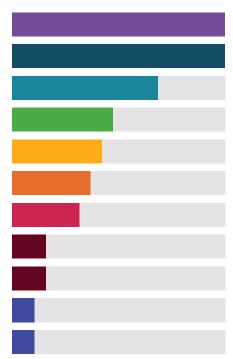
Lack of assistance to maintain homes

New developments are erasing the culture

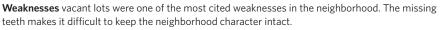
Crime is a huge safety issue

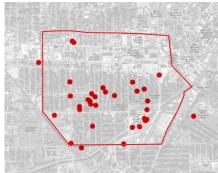
Poor accessibility to medical institutions

Lack of job training + education



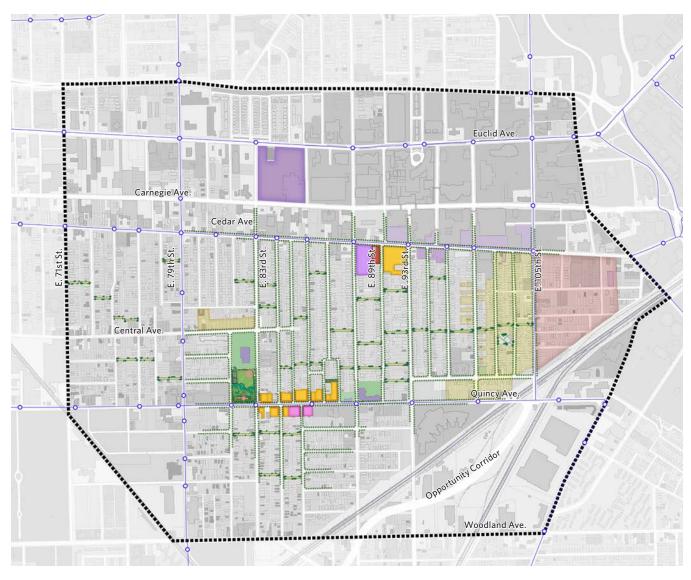






Weaknesses the primary weaknesses focused on inequity around new development, the amount of vacant property, and a lack of events bringing the community together

FRAMEWORK AND STRATEGY FOR INVESTMENT



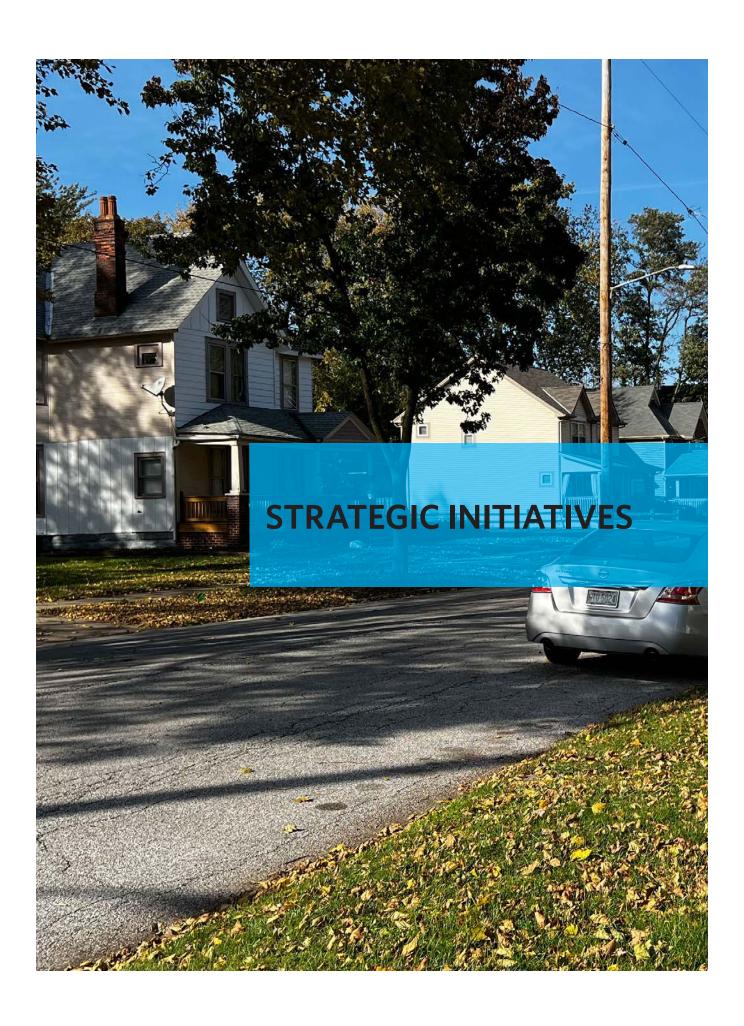


How to Approach the Initiatives

The strategy for the SIP is to focus on where there is momentum and capacity. With so many existing efforts underway for housing, economic development, planning, and more, it is critical to focus on initiatives that will further strengthen these efforts. Leveraging the momentum from current initiatives and the feedback from the community, there are five priorities for 2022-2027:

- Develop design principles for the Cleveland Clinic's Cleveland Play House Site
- Refresh the plan for the Cedar Avenue Commercial District (E. 89th to E. 105th)
- Create a strategy for attractive pedestrian connections through vacant lots
- Improve communication-related to available training, jobs, services, and events
- Advance the Quincy Avenue Arts District





2022-2027 FRDC PRIORITIES

The priorities for the next five years are more than initiatives, they are designed to build on current momentum and organizational capacity.

Uniting Priorities and Input

During the listening phase, five categories captured much of the input, housing, jobs and jobs training, parks and recreation, community culture and history, and local retail and community services. Social Determinants of Health became a key consideration when studying Fairfax, a neighborhood with health and educational anchors nearby. Critical drivers of the SIP are accessible and quality healthcare and education in the neighborhood core, economic stability, the built environment, and social and community context.

- Develop design principles for the Cleveland Clinic's Cleveland Play House Site (Jobs & Job Training)
- Refresh the plan for the Cedar Commercial District (Local Retail & Community Services)
- Create a strategy for attractive pedestrian connections through vacant lots (Parks & Recreation)
- Improve communication-related to available training, jobs, services, and events (Community Culture & History)
- Advance the Quincy Avenue Arts District (Housing)



SOCIAL DETERMINANTS OF HEALTH

The five social determinants of health are

- Education Access and Quality
- Health Care Access and Quality
- Economic Stability
- Social and Community Context
- Neighborhood and Built Environment

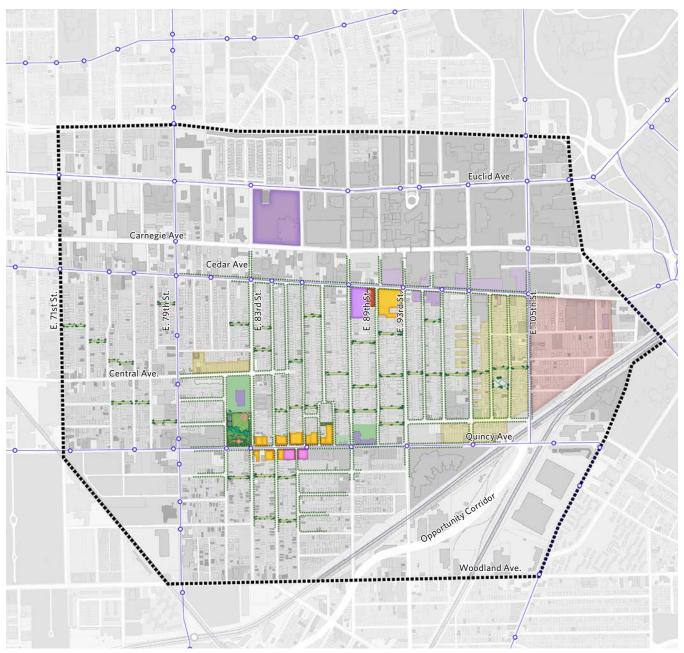
In a neighborhood with several key educational and healthcare anchors, it was important to frame the top priorities with these drivers of health.



Residents working in a community garden in Fairfax



Performance at Karamu House





Initiatives Plan

DESIGN PRINCIPLES FOR THE CLEVELAND CLINIC PLAY HOUSE SITE

FOCUSING ON THE PUBLIC REALM

In 2022, Cleveland Clinic announced the planned demolition of the former Cleveland Play House, a theater complex featuring three theaters around a central rotunda, currently located on Cleveland Clinic property west of the main campus. A 1984 renovation of and addition to the former Sears department store created the largest regional theater complex in the United States. In 2009, ownership was transferred from the Cleveland Play House to the Cleveland Clinic. In 2012, the Cleveland Play House moved to the Allen Theater in Downtown Cleveland, and the Clinic struggled to find a viable use for the property, using it for storage, logistics, and police training. Over a decade later, the demolition and subsequent redevelopment of the site could create a joint opportunity for meeting the Clinic's needs while also responding to neighborhood desires that emerged during the planning process. These needs and goals were combined into a series of design principles:

- Maintain the existing Street Grid The existing street grid is important to neighborhood circulation and should therefore be maintained.
- Line the block perimeter with active uses While care should be taken to keep the
 block permeable, the perimeter of the block should integrate visible active
 uses. The Cleveland Clinic has expressed a desire to highlight "science on
 display," showcasing what goes on with critical infrastructure and building
 services.
- Extend and strengthen the "Green Spine" A main organizing element down the
 center of the Clinic's campus is the "green spine." This east-to-west park is
 the primary greenspace and pedestrian corridor. The "green spine" should be
 extended west with access to other outdoor spaces that support the healing
 power of nature.
- Create architecture that complements the existing streets In addition to focusing on active uses, new buildings on the site should address and enhance the street, particularly the commercial hub of Carnegie Avenue and Euclid.
 Ground-level transparency and clear points of entry should be prioritized, with minimal blank walls to the street.
- Enhance the public realm with landscaping, street furniture, and pedestrian lighting
 The public realm should be designed with generous sidewalks, plantings, street
 furniture, and lighting to make it a welcoming outdoor space.



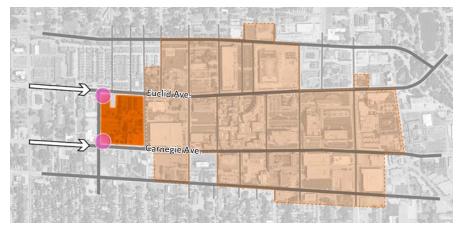
- Confirm clear design principles with the Cleveland Clinic
- Establish clear benchmarks to see if the principles are being met
- Implement a review process to determine guarantee alignment



Future Needs

The exact development program is undetermined, but future development provides a unique opportunity to create a meaningful impact on the community. A primary desire for residents of Fairfax is for new development to not only serve the Clinic's needs but also to connect outward to the neighborhood. Potential uses being considered by the Clinic include:

- Enhanced healing environments
- Parking
- Central energy plan
- Clinical expansion
- Research and technology partners
- Mixed-Use Development for neighbors and caregivers



West Campus Entry The Play House Site is located on the western edge of the existing Campus and will provide a new entry point for commuters arriving from the Downtown Cleveland area



Strengthen and enhance the "Green Spine" The green spine is an important organizing east-to-west pedestrian connector in the Cleveland Clinic Campus



Focus primary active frontage along Carnegie Ave and Euclid Ave



The site design should emphasize pedestrian access from both the north and south direction, as well as the east and west

REFRESH THE CEDAR COMMERCIAL DISTRICT

A GROWING DISTRICT ON CEDAR AVENUE

Cedar Avenue has always been the commercial main street of the Fairfax Community. Carnegie Avenue, immediately to the north is also a commercial hub. With the completion of Opportunity Corridor and new development in Innovation Square, interest will continue to grow in the property along Cedar Avenue from 89th to 105th Street. The new Meijer grocery store at E. 105th has 192 units of housing above, with additional housing under development immediately south in Innovation Square. Paired with the vision for New Economy Neighborhood, which will be focused on education, medicine, and technology, the uses, and form of what is built on Cedar Avenue becomes even more critical. Refreshing the plan of the commercial district will help create a framework for future infill.

Design Principles

Design principles for the Cedar Commercial District focus on the public realm.

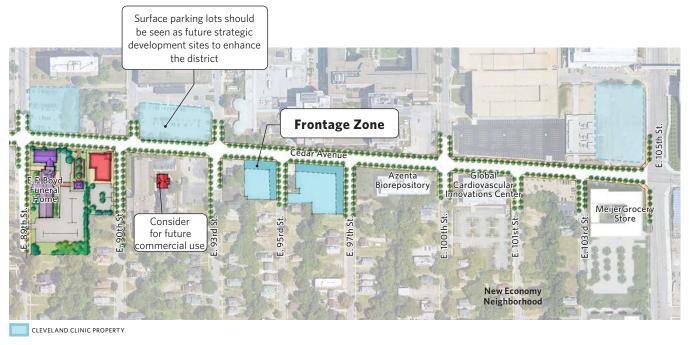
- Prioritize active uses Cedar is the neighborhood's commercial main street and
 as such, it should have continuous ground floor activation in buildings. Blank
 walls and pedestrian unfriendly uses are discouraged.
- Focus on transparent architecture Buildings along Cedar should emphasize
 transparency with windows, openings, and transparent glass at the street level
 so that pedestrians are visually connected with indoor spaces.
- Create an engaging street wall New development should be positioned close to
 the street with wide landscaped sidewalks in front to create an engaging street
 wall, which focuses activity in the public realm.



Focusing on Active Uses Power plants and parking garages, while necessary infrastructure should be screened by active uses to allow for a more compelling commercial hub.



- Identify planned projects
- Focus on design principles and how these impact the public realm experience on Cedar Ave.
- Consider most desired commercial uses
- Emphasize the importance of the public realm to future developers using the design principles.



The Cedar Avenue Commercial District Several pieces of property along Cedar Avenue are owned by the Cleveland Clinic. Care should be taken to place active uses on these parcels to enhance the commercial district.



E.F. Boyd & Son Funeral Home has operated since 1905. As they continue operations into the future, they have expressed interest in a new crematorium with a witnessing facility and a memorial garden for loved ones to have an outdoor moment to grieve.

- EXPANDED CREMATORIUM WITH WITNESSING FACILITY
- MEMORIAL GARDEN OFF CEDAR AVENUE
- POTENTIAL FUTURE COMMERCIAL SPACE





STRATEGY FOR ATTRACTIVE PEDESTRIAN CONNECTIONS THROUGH VACANT LOTS

BREAKING DOWN THE LONG BLOCKS

The Fairfax neighborhood has long, narrow blocks that run north to south, especially at the core of the neighborhood between Cedar Avenue and Quincy Avenue where blocks can be nearly half a mile in length. These long stretches between cross streets, and by extension long stretches between pedestrian connections, can discourage walking as a primary mode of transportation. One of the challenges in Fairfax is the significant number of vacant lots, however, some of these vacancies in strategic locations can be seen as an opportunity to create pedestrian midblock crossings to improve pedestrian circulation.

What Makes a Good Connection?

Midblock connections should:

- Be on property that FRDC owns or can control; this may require acquisition from the Cuyahoga County Land Bank
- Cut through the entire width of a block
- Shorten the walking distance to key destinations like transit stops or neighborhood amenities
- Be well-lit and clear of visual obstructions
- Be paved to prevent erosion



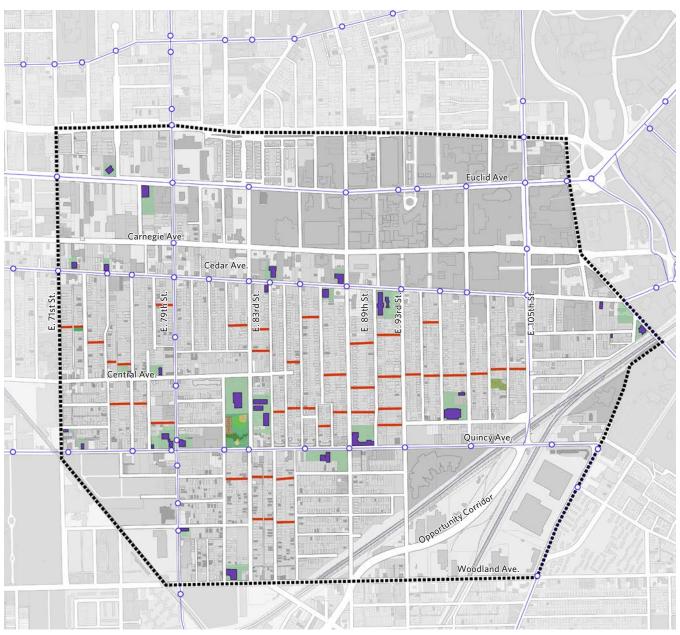
Example Connection Using FRDC or Cuyahoga County Land Bank parcels for connections can help break down long blocks with well lit paseos



- Identify preferred locations for connections
- Consolidate key Cuyahoga County Land Bank and FRDC parcels together to establish key connections
- Focus efforts on keeping these lots well maintained
- Begin with low-cost tactical urbanism solutions to add walking surfaces, lighting, and potentially seating
- 1 SOLAR POWERED LIGHTING
- 2 DECOMPOSED GRANITE OR MULCH WALKWAY
- 3 SPACE FOR ART OR NATURAL LEARNING
- 4 TREES
- 5 TRASHCAN FOR MAINTENANCE



Lucia Green Pathway is an example of a connection that already exists in the neighborhood





Vacant Lot Connection Strategy



Public Art The paseos can also house unexpected art installations that can direct residents and visitors to the Quincy Avenue Arts District

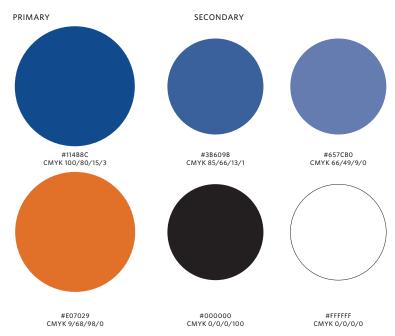


Little Gardens Adding low cost walkways, benches for seating, and additional landscape can make the paseos little oases in the neighborhood

IMPROVE COMMUNICATION-RELATED TO AVAILABLE TRAINING, JOBS, SERVICES, AND EVENTS

CREATING A CONSISTENT BRAND IDENTITY

One of the primary comments in community feedback related to the lack of events that bring the community together. Digging deeper revealed underlying frustration from residents about limited participation in engagement from the wider community, and what was perceived as a lack of communication, especially to reach younger residents of the neighborhood. Church leaders and business owners expressed the need for easier access to information about jobs, job training, and services. Tools that FRDC currently maintains, such as the Programs and Services Brochure, Community Resource Guide, and newsletter could use an update to better help the community see and understand the wealth of programs and services available. The community also expressed a strong desire for additional online and social media presence. Updating the information and access tools provides a high-level template and roadmap to help simplify what is currently provided while allowing the FRDC staff to have a tool kit to use for branding and sharing the word about events and resources available to the public.





Gill Sans Regular

STEPS TO IMPLEMENTATION

- Focus on a consistent package of colors and fonts to help every piece of media from FRDC graphically coordinate
- Use a consistent package of fonts and colors to enhance a balanced social media presence
- Highlight information from the volunteer club in the newsletter and on social media

Primary COLOR



Primary GRAYSCALE



Vector Based Logos Rebuilding FRDC's logo into vector form makes it easier to rescale onto print media and use in digital form.

Conceptual Newsletter







FIGURY

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HIGH BLOOD PRESSURE CONNECTION



JOBS BOARD

FRDC's Workforce Development Department has information on the latest job opportunities! Sign up for an orientation Department has information on the dieses job opportunities of the dieses job opportunities of

New Day, New Hope Thursday, December 15th

0 0

Containing Remonstrations at the Lauption Replace Containing The Containing C

FRDC Offices Will Be Closed November 24th And 25th For Thanksgiving





Programs & Services Brochure



Conceptual Instagram Posts



ADVANCE THE QUINCY AVENUE ARTS DISTRICT

CREATING ARTIST FOCUSED HOUSING

The aspiration for an arts and culture district near Karamu is not new, and in fact, grows out of ideas in the 2014 plan and beyond. The concept for the Quincy Avenue Arts District focuses on the potential for artist housing between Karamu's current location and the Langston Hughes Center. Providing focused housing opportunities geared toward local and visiting artists will help infuse the community with creative power. Emphasizing the connection to the arts with an Arts Walk and space for permanent and pop-up art installations helps reinforce the idea of a community tied together through the arts.

Artist Live-Work Spaces

A live-work project assumes a bit of extra space, either within units or on a separate ground level, that can be used for studio or gallery space. Ideally, these spaces are designed with artists in mind with consistent design elements, such as high ceilings, large windows, durable surfaces, and wide doorways to accommodate many different types of creative processes. Buildings can also include common spaces such as shops, meeting rooms, and green spaces that encourage artist collaboration and community engagement.



Ruby Dee Mural Sankofa Fine Art Plus commissioned muralist Kent Twitchell to work with select local artists and community members to honor one of Karamu House's most successful alums, Ruby Dee. The 40 foot tall mural was officially unveiled in 2013 but has since fallen into disrepair. It's restoration could be a component of a Quincy Avenue Arts District.



- Consolidate Cuyahoga County Land Bank parcels with FRDC-owned parcels to prepare for infill housing.
- Partner with mixed-income and artist-focused developers, such as Artspace, and other partners to implement artist-focused affordable housing
- Emphasize streetscape improvements that highlight art, like special tiles in the sidewalk, or banners on light poles
- Provide opportunities for art in Quincy Park and Quincy Gardens, including pop-up installations and community and community history-focused arts events



Artspace Artspace is a nonprofit arts organization specializing in creating, owning, and operating affordable spaces for artists and creative businesses. These spaces include live/work apartments for artists and their families, working artist studios, arts centers, commercial space for arts-friendly businesses, and other projects. Artspace and similar organizations could be key partners in an effort for sustainable artist housing.



Quincy Avenue Arts District While Karamu continues to grow and expand as a community anchor, it is doing so primarily on land that it currently owns. While other sites on Quincy Avenue aren't large enough for performing arts uses, the lots are perfect for artist focused housing and live-work artist spaces, which could include workshop and gallery space.







4 ART CROSSWALKS

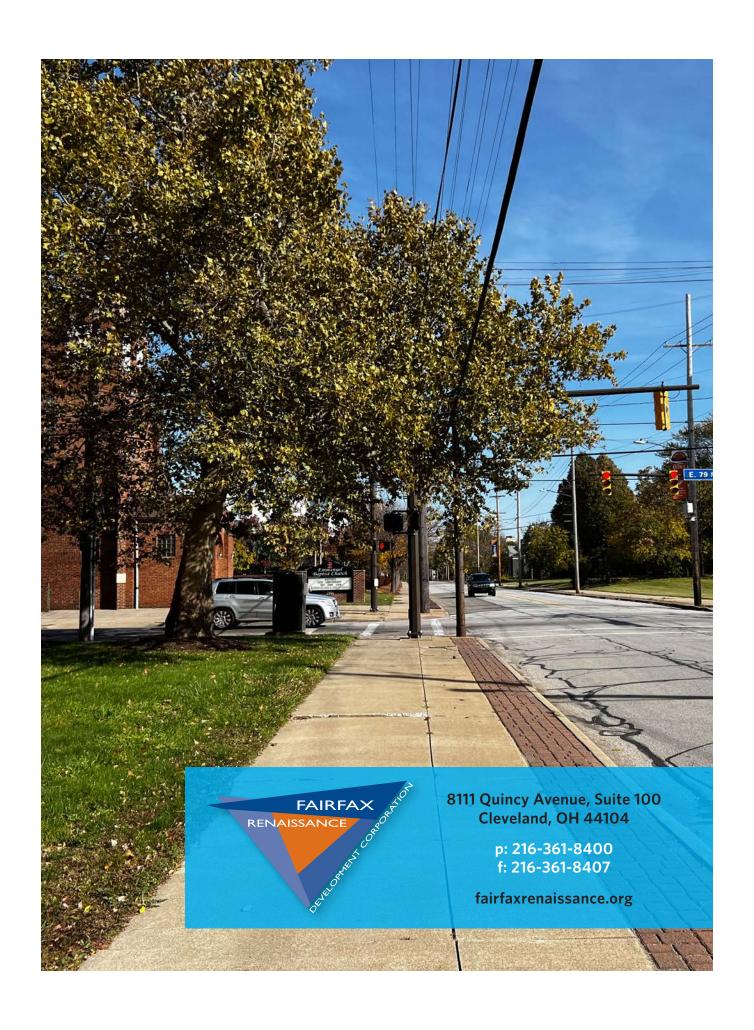
5 NEW ART INSTALLATIONS IN QUINCY GARDENS







89th Rising The 89th Rising Housing Initiative is moving forward on E. 89th Street with the construction of multiple 8-unit stacked flats buildings designed to look like the large Victorian houses that were once on 89th street. This example serves as a useful model for artist focused housing on Quincy Avenue.



Cleveland City Planning Commission

Special Presentations – Public Art



Special Presentation

May 5, 2023

SE2023-009 – Ubuntu Gathering Place Murals: Seeking Final Approval

Location: 10299 Shaker Blvd.

Representative: Jeremy Ousley, Environmental Design Group

Committee Recommendation:

Approved as Presented by Southeast Design Review Advisory Committee.

Ward 6 - Councilmember Griffin

SPA: Buckeye-Woodhill



The Ubuntu Gathering Place

Western Reserve Land Conservancy

land - people - community

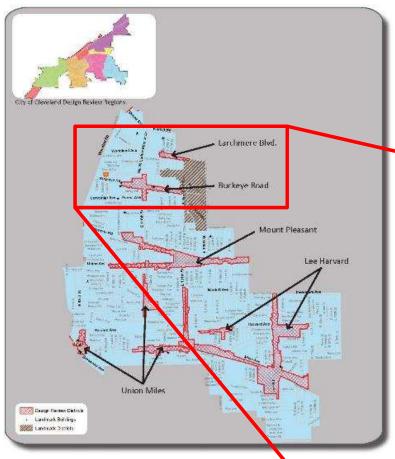






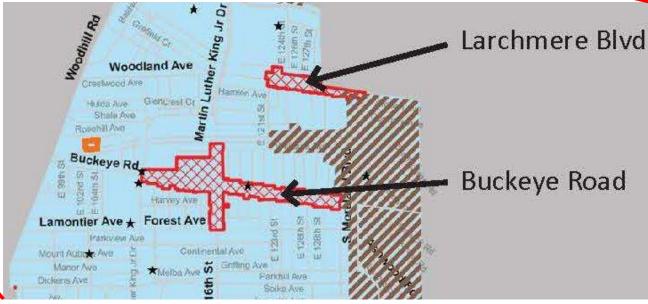


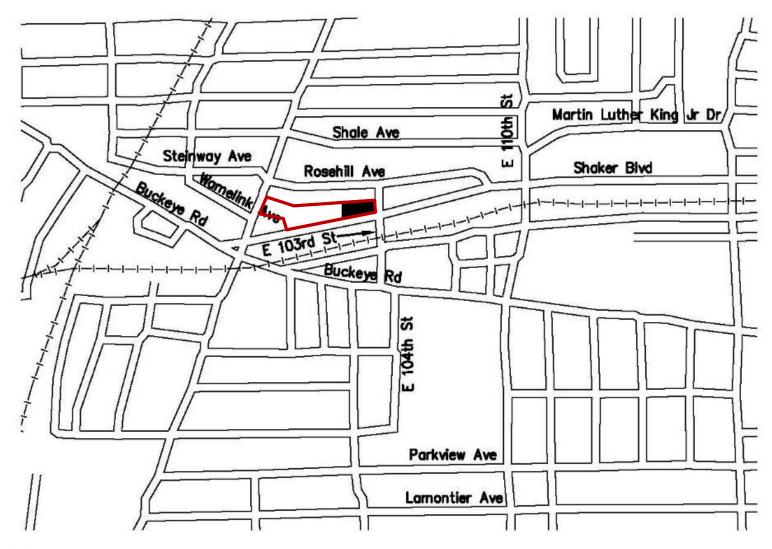
Design Review Advisory Committee April 2021



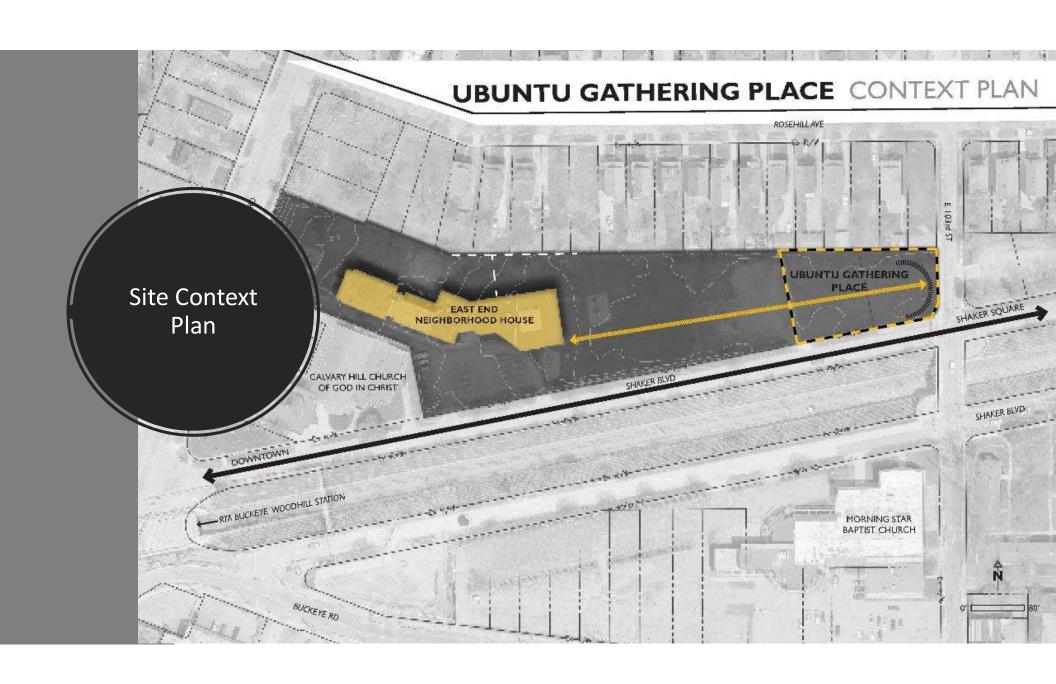
Southeast Design Review Region & Districts

Location Map





Location Map

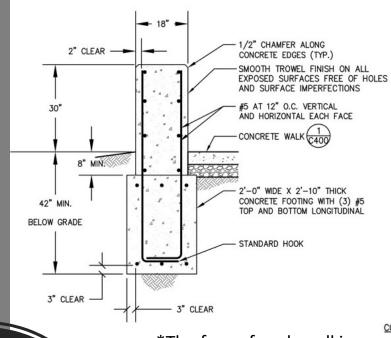




Phase 1 Completed - December, 2021







Art Wall

Section

*The face of each wall is

approximately 27'9"

CODES AND STANDARDS

- NEW CONSTRUCTION HAS BEEN DESIGNED TO, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING BUILDING CODES AND STANDARDS:
 - 2017 OHIO BUILDING CODE (OBC 2017)
- CITY OF CLEVELAND, OHIO, CODE OF ORDINANCES ASCE 7-10, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES UNLESS EXPLICITLY MODIFIED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS,
 - THE CONTRACTOR SHALL COMPLY WITH PROVISIONS OF: ACI 301-10, SPECIFICATIONS FOR STRUCTURAL CONCRETE
 - ACI 318-14, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

DESIGN LOADS (OBC 2017)

WIND DESIGN DATA

MINIMUM WIND LOAD (CITY OF CLEVELAND - ALLOWABLE)			
LESS THAN 50'	20 psf		
ULTIMATE DESIGN WIND SPEED (ASCE 7, FIGURE 26.5-1)	Vult =	115	mph
NOMINAL DESIGN WIND SPEED (OBC 1609.3.1)	Vasa =	90	mph
RISK CATEGORY (ASCE 7, TABLE 1.5-1)	- 11		
EXPOSURE CATEGORY (ASCE 7, 26,7,3)	В		

DESIGN STRESSES

CONCRETE MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS	F'c = 5,000 PSI
REINFORCING BARS (ASTM A615, GRADE 60)	$F_Y = 60,000 PSI$
SOIL BEARING PRESSURE FOR FOUNDATIONS PRESUMED	2,000 PSF

CONCRETE CONSTRUCTION

- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE ACI 318 AND ACI DETAILING MANUAL, EXCEPT THAT CONSTRUCTION AND REMOVAL OF FORMS AND RESHORING SHALL BE INSPECTED BY THE CONTRACTOR'S ENGINEER.
- REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM COVERAGE. PLACE BARS AS NEAR TO THE CONCRETE SURFACE AS THESE MINIMA PERMIT WHEREVER POSSIBLE, UNLESS NOTED OTHERWISE:
 - CONCRETE POURED AGAINST EARTH: 3"
 - FORMED CONCRETE IN CONTACT WITH EARTH: 2"
- FURNISH BAR SUPPORTS WHERE NECESSARY DURING CONSTRUCTION.
- ALL EXPOSED CORNERS OF CONCRETE ARE TO BE CHAMFERED 45'. MINIMUM CHAMFER TO BE 1/2".
- UNLESS NOTED OTHERWISE IN PROJECT SPECIFICATIONS OR DRAWINGS, ALL EXPOSED CONCRETE SUBJECTED TO FREEZING AND THAWING SHALL HAVE A MINIMUM CEMENT CONTENT OF 610 POUNDS PER YARD, A MAXIMUM WATER/CEMENT RATIO OF 0.40, AND 6%±1.5% OF ENTRAINED AIR.
- BAR BENDS SHALL BE MADE COLD. BARS SHALL NOT BE BENT AFTER ANY PORTION OF THE BAR IS ENCASED IN CONCRETE.
- 7. LAP #5 BAR = 36"



MATCH ABOVE

Art Wall #1 Octavio Logo Ubuntu Theme



Art Wall #2
Nathalie
Bermudez
Ancestral/
Reflective Theme





Art Wall #3 Christa Childs Literacy Theme



	ART WALL #1 OCTAVIO LOGO	ART WALL #2 NATHALIE BERMUDEZ	ART WALL #3 CHRISTA CHILDS
MATERIALS	Nova Color acrylic paint with long-lasting exterior premium colors A clear coat of varnish will be applied for protection	A combination of acrylic and aerosol paints	A combination of acrylic paint and aerosol paints
INSTALLATION METHOD	A white layer of base paint will be applied, and the mural will be painted over this white base. Only the front face of the wall will be painted	Paint will be applied directly onto wall Only the front face of the wall will be painted	Paint will be applied directly onto wall Only the front face of the wall will be painted
MAINTENANCE	The mural can be protected every two years with a clear coat of exterior varnish (Nova Color exterior flat varnish)	The mural can be protected every two years with a clear coat of exterior varnish (Nova Color exterior flat varnish)	The mural can be protected every two years with a clear coat of exterior varnish (Nova Color exterior flat varnish)

*Each art wall will include an embedded plaque on the top with a QR Code linking the artists website

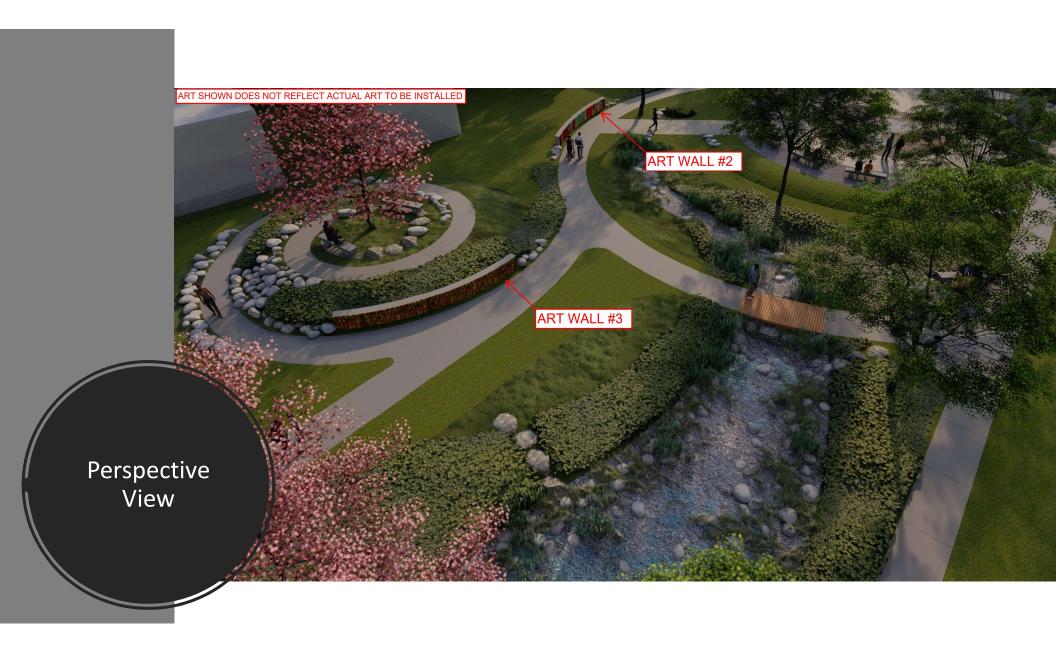




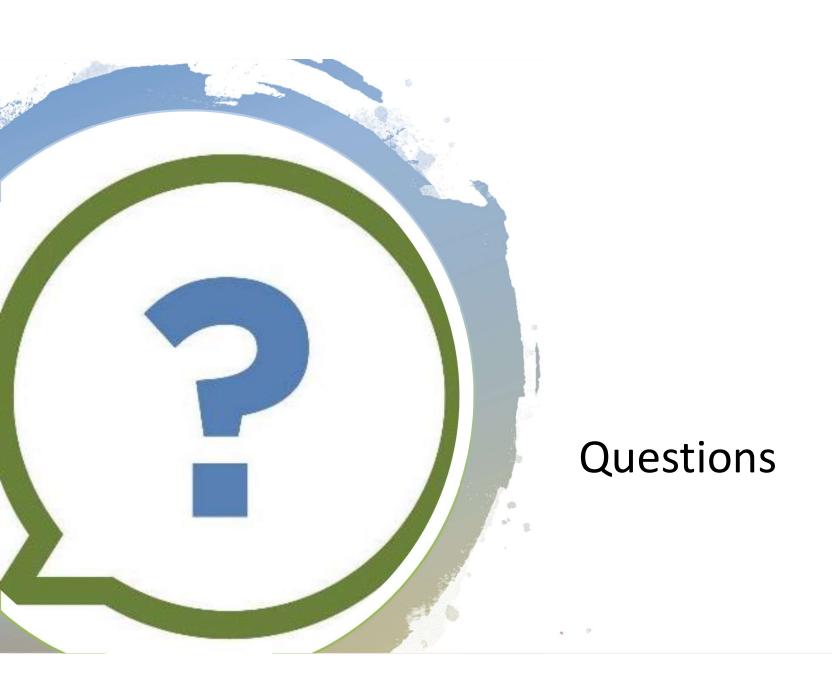












Cleveland City Planning Commission

Staff Report



Special Presentation

WANTE OF THE PROPERTY OF THE P

May 5, 2023

Cleveland Hopkins International Airport "Picket Fences" Artwork Relocation:

Seeking Final Approval

Location: CLE Ground Transportation Center Exterior

Representatives: Tarra Petras, Public Art Coordinator, City of Cleveland

Shari Cloud, City of Cleveland

Ward 17 - Councilmember Slife

SPA: Hopkins

City of Cleveland Public Art Program (Chapter 186) Artwork Approval – Cleveland Hopkins Ground Transportation Center

City Planning Commission May 6, 2023



Cleveland Hopkins Ground Transportation Center Artist: Mark Howard

REQUEST FOR FINAL APPROVAL OF ARTIST RENDERING

Location: Exterior of newly renovated Ground Transportation Center at CLE (ENTRANCE RAMP)

Budget: \$36,000

Artwork type: Stainless Steel Laser-cut Mural

ADDITIONAL INFORMATION:

Rather than issuing an RFQ for new artwork, the decision of the Public Art Committee and CLE was an invitation to the original artist to repurpose existing artwork from (the closed) Concourse D and reconfigure a portion of it to be affixed to an exterior wall at the recently renovated Ground Transportation Center at the airport.

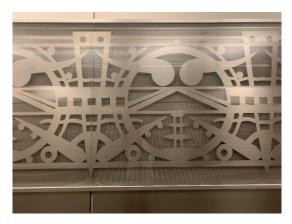
LOCATION EXPLORATION: Current Location of Artwork, Concourse D Tunnel

Picket Fences by Mark Howard









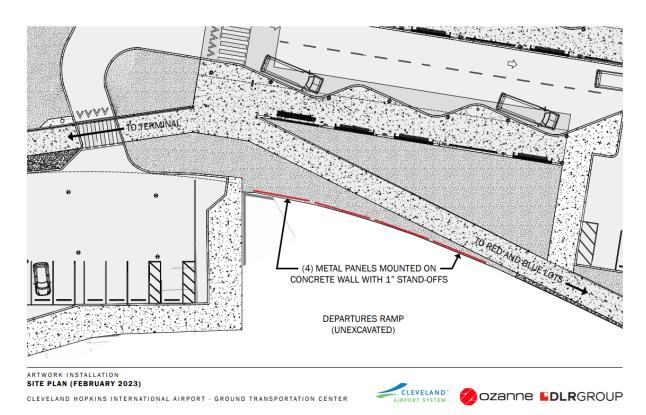
13' 13' 9" 15' 4" 15' 3"

Picket Fences, designed by Cleveland Artist Mark Howard is a laser cut stainless steel mural that once adorned the Continental Airlines underground walkway (Concourse D). Each piece represents an aspect of travel – *Man with Luggage, Runway, Time Flies and Airplane*. The total linear feet is approximately 57'.

MATERIAL INFORMATION:

The artwork consists of four (4) laser cut, stainless steel panels approximately 57 linear feet to be affixed to a 65 foot concrete wall with 1" standoffs. Solar or electrical in-ground lighting will also be installed

SITE PLAN & LOCATION



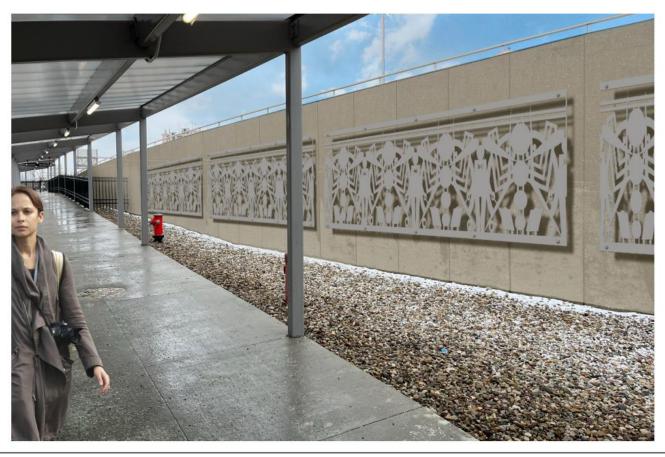


LOCATION - ADDITIONAL CONTEXTUAL VIEWS





ARTIST CONCEPT/RENDERING



ARTWORK INSTALLATION

PHOTO MONTAGE (FEBRUARY 2023)

CLEVELAND HOPKINS INTERNATIONAL AIRPORT - GROUND TRANSPORTATION CENTER







RECOMMENDED INSTALATION & MATERIAL OVERVIEW

Stainless Steel Standoff Screws



Cleveland City Planning Commission

Mandatory Referrals



Mandatory Referrals

A LONG DIE

May 5, 2023

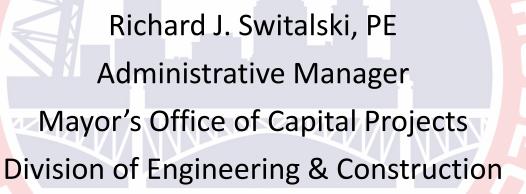
Resolution No. 516-2023

(Introduced by Councilmembers McCormack, Bishop and Hairston – by departmental request): Declaring the intent to vacate all of the remaining portion of an unnamed alley, from the northerly line of PPN 003-23-019 to the centerline of Gould Court.

SPA: Ohio City

City Planning Commission

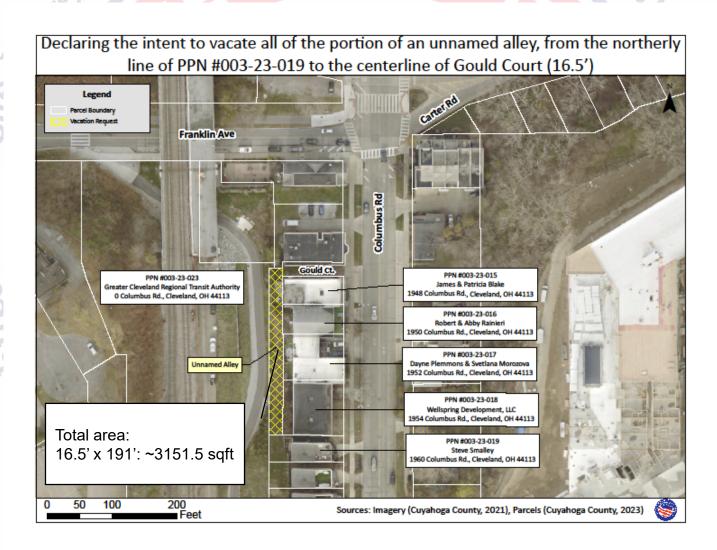
Friday, May 5th, 2023

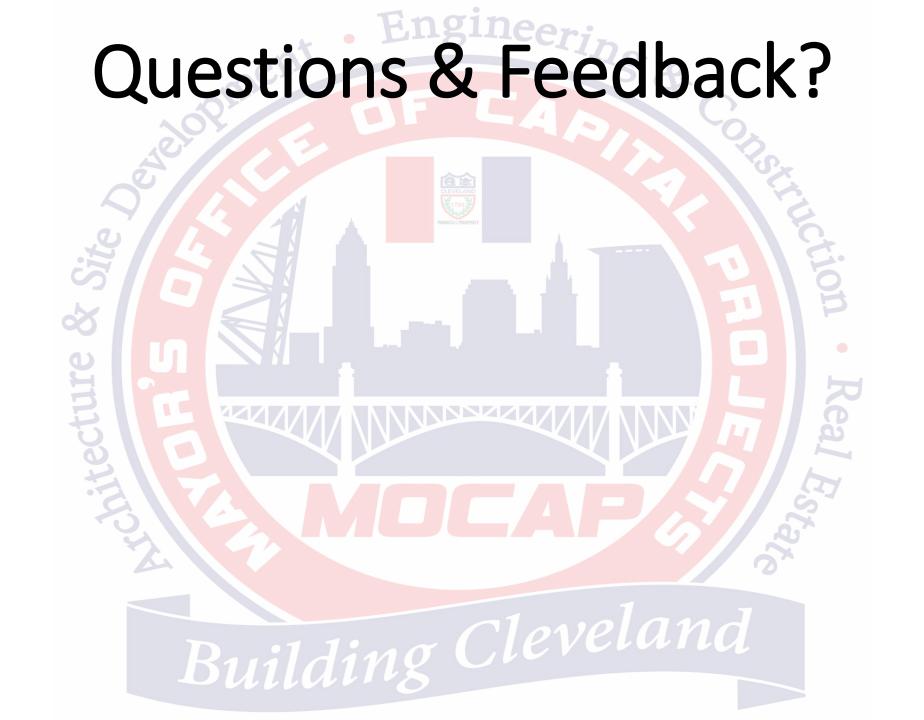


Declaring the intent to vacate all of the remaining portion of an unnamed alley, from the northerly line of PPN 003-23-019 to the centerline of Gould Court

The purpose of the proposed vacation is to facilitate future development by individual parcel owners

Limits of proposed vacation







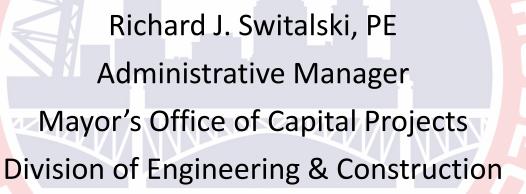
Resolution No. 517-2023

(Introduced by Councilmembers Howse, Bishop and Hairston – by departmental request): Declaring the intent to vacate a portion of Curtis Avenue N.E., east of East 59th Street.

SPA: Hough

City Planning Commission

Friday, May 5th, 2023



Declaring the intent to vacate a portion of Curtis

Avenue, east of East 59th Street

 The purpose for this vacation request is to allow Manufacturing Advocacy & Growth Network Inc. (MAGNET) to install greenspace in the present Curtis Avenue right of way

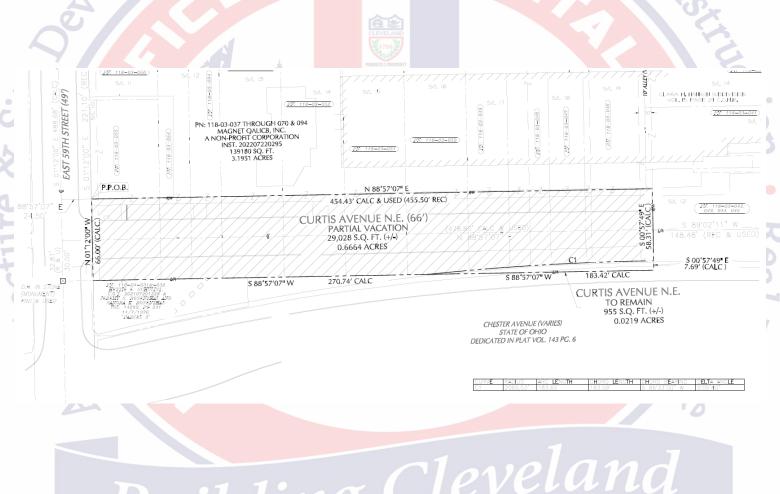
Existing site conditions

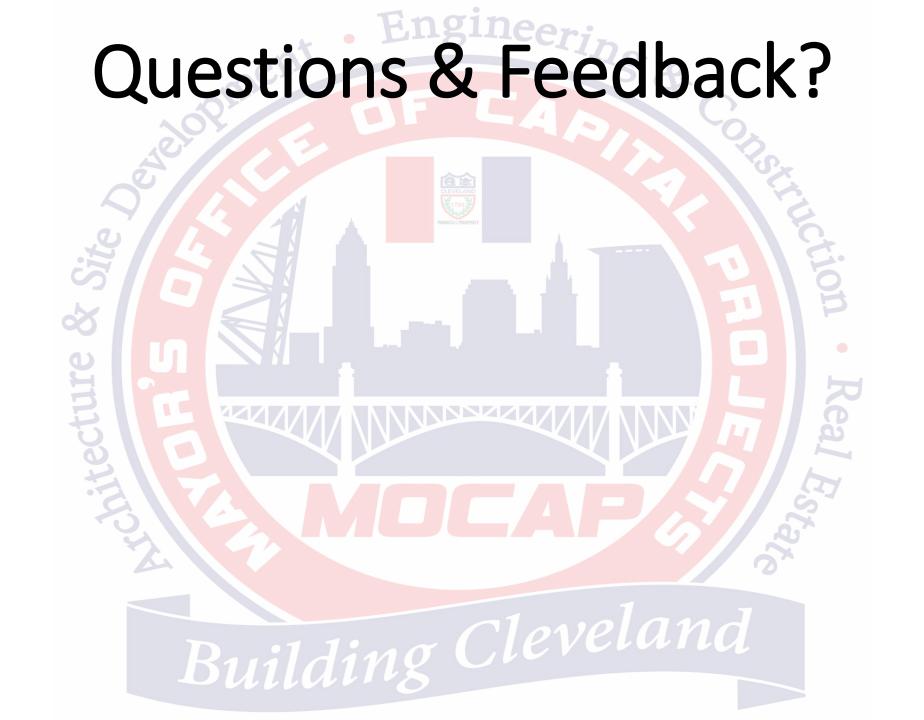


Proposed site plan



Limits of proposed vacation





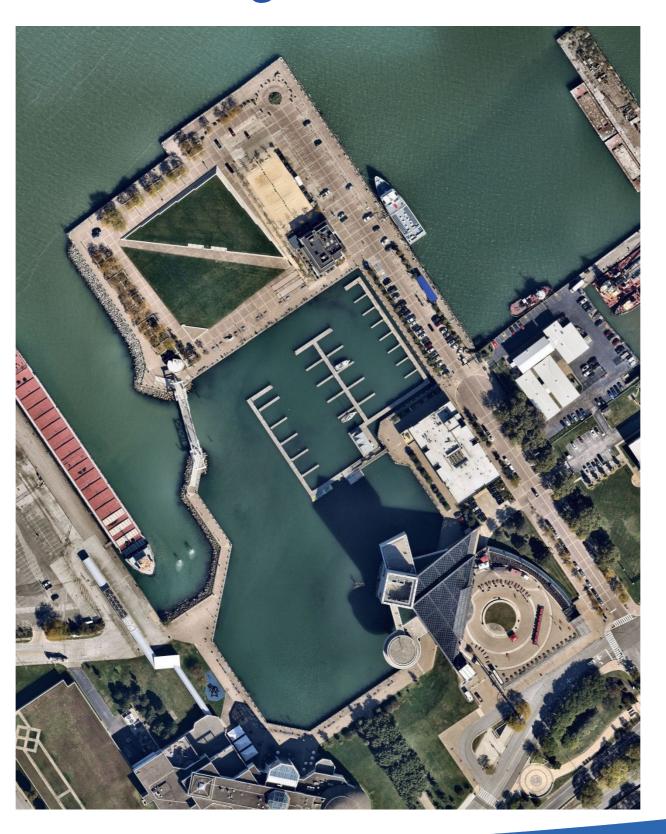


Ordinance No. 488-2023

(Introduced by Councilmember McCormack and Griffin – by departmental request): Determining the method of making the public improvement of constructing improvements to the North Coast Harbor identified under the Capital Improvement Plan; and authorizing the Director of Port Control to enter into one or more public improvement contracts for the making of the improvement; and authorizing the Director of Port Control to enter into various written standard purchase and requirement contracts needed for the purchase of lighting, signage, landscaping, and other outdoor furnishings and amenities, including labor and installation, to implement the Capital Improvement Plan, for the Department of Port Control.

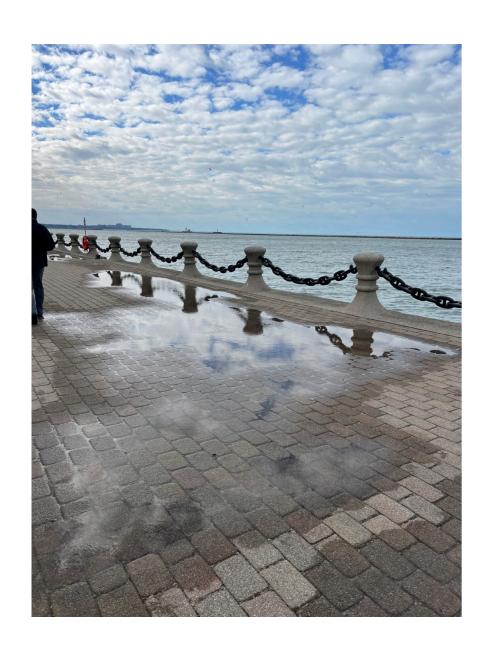
SPA: Downtown

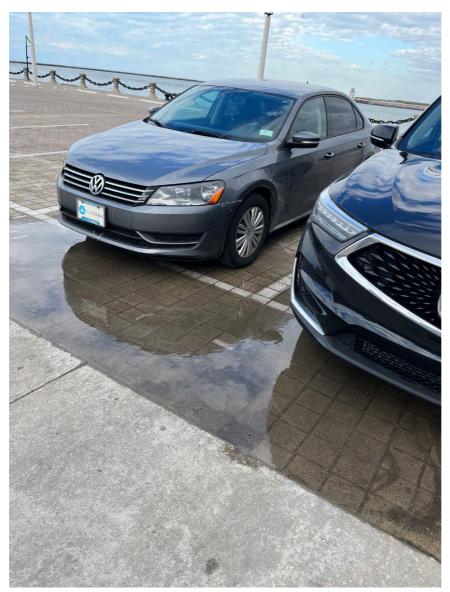
North Coast Harbor Project Area





Surface Ponding & Paver Settling





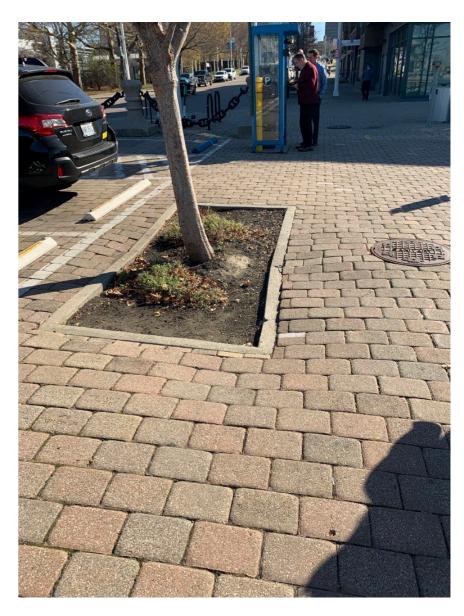




North Coast Harbor Tree Pit Failures & Missing Trees









Failed Electrical Pull Boxes







Areas of Insufficient Lighting







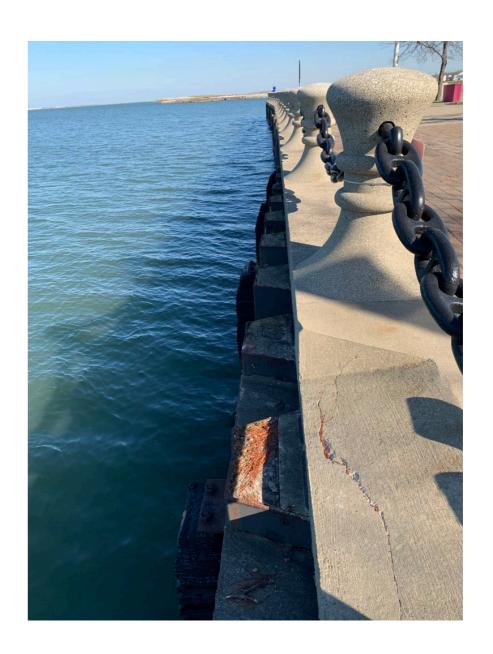
Inconsistent Poles and Fixtures





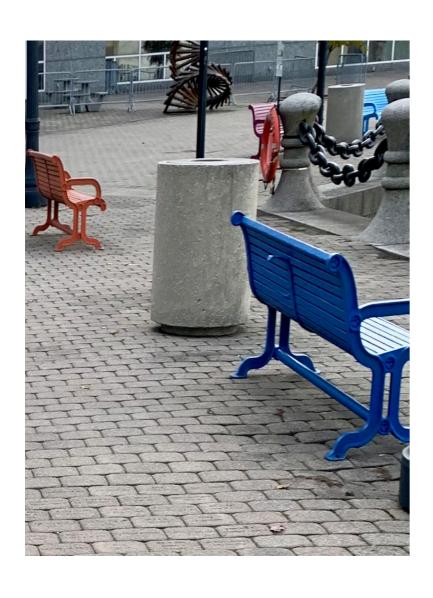
Concrete Parking Pad & Bulkhead

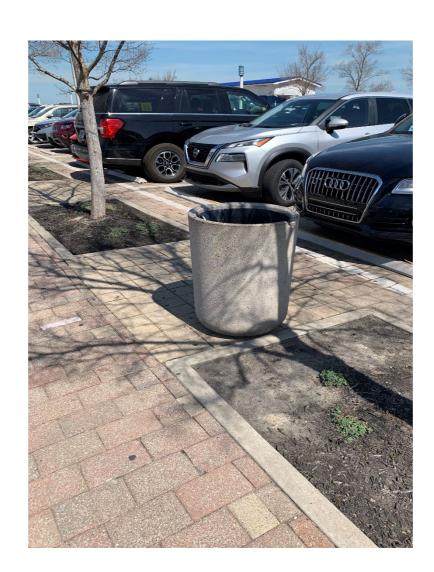


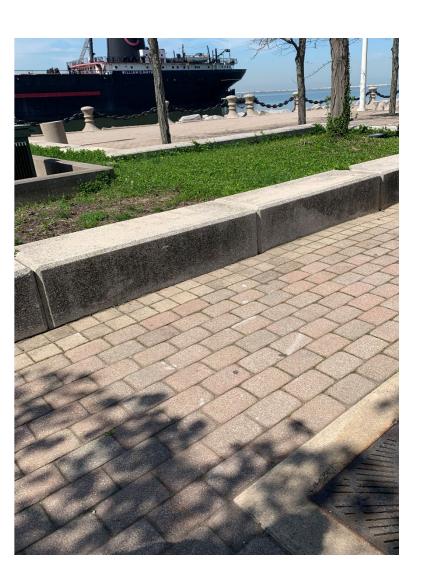




Dated Furniture & Poor Landscaping











Ordinance No. 520-2023

(Introduced by Councilmembers Bishop, Hairston and Griffin – by departmental request): Authorizing the Directors of City Planning and/or Public Works, as appropriate, to enter into one or more agreements with The Convention and Visitors Bureau of Greater Cleveland, Inc. dba Destination Cleveland for professional services for the design, programming, and project management of several experiential light installations on or benefitting City properties and to accept the donation of any equipment, materials, supplies, and services for lighting on such properties; authorizing other agreements; and authorizing the appropriate director to apply for and accept any gifts, grants or services from any public or private entity.

SPA: Downtown



Ordinance No. 526-2023

(Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin – by departmental request): Authorizing the Director of Capital Projects to enter into one or more agreements with Bedrock Management Services, LLC, or its designees, to provide, or cause to provide, professional services for the detailed design of various public improvements and to accept the donation of the construction of the improvements and to purchase any equipment, materials, supplies, and services for the making of the improvements; authorizing other agreements; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.



Ordinance No. 528-2023

(Introduced by Councilmembers Polensek, Bishop and Griffin – by departmental request): Authorizing the Director of Capital Projects to enter into one or more contracts with the County of Cuyahoga to contribute funding for the construction of the Euclid Beach Trail Connector; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.

SPA: North Shore Collinwood

Mandatory Referrals

LEVELAND OF THE PROPERTY OF TH

May 5, 2023

Ordinance No. 529-2023

(Introduced by Councilmembers Polensek, Hairston, Bishop and Griffin): Authorizing the Director [of] Capital Projects to enter into one or more contracts with the Board of Park Commissioners of the Cleveland Metropolitan Park District for the detailed design of Euclid Creek Greenway Phase 2 North project; and to apply for and accept any gifts, grants or services from any public or private entity.

Waterfront Activation Fund

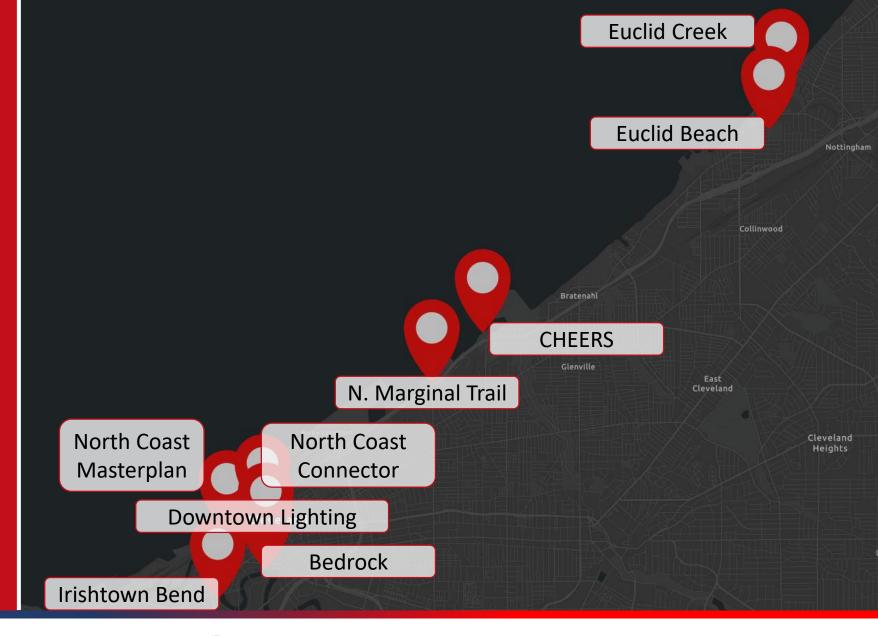
Mayor Bibb's ARPA Initiatives to Transform our Waterfront

Cleveland City Planning Commission May 5, 2023



Waterfront Activation

is taking place along the river and lakefronts from Collinwood to Downtown.





"The Lakefront belongs to all of us and therefore must be a place for all of us."
-Mayor Justin Bibb

Waterfront Values

Equity

Economic Opportunity through Redevelopment

Sustainability

Downtown Experiential Lighting

ARPA funding: \$1M

Leverage/total cost: \$6.75M

Timeline: Construction and installation will begin in Summer 2023, with a

launch in Spring, 2024

Key Partners: Destination Cleveland, Downtown Cleveland Alliance, Group

Plan Commission





Inspiration





(Examples of comparable technology applied in other locations)

Project:

A striking display of experiential lighting in Downtown Cleveland will create a unique and memorable experience for residents, workers and visitors. Destination Cleveland proposes a bold experiential lighting project to help make Public Square, Euclid Avenue and the Malls safer, more vibrant and more interesting spaces at night.



Bedrock Riverfront Infrastructure

ARPA funding: \$3M

Leverage/total cost: \$7.2M

Timeline: 2023 -2026 - Construction **Key Partners:** Bedrock, NEORSD, RTA, Port of Cleveland, Metroparks, NOACA, Downtown Cleveland Alliance, Greater Cleveland Partnership, Flats Forward









Project:

In alignment with the Cuyahoga Riverfront Masterplan, Bedrock proposes to use ARPA funding in coordination with other public and private resources to advance critical public infrastructure, right of way and public space investments. Funds will be used for:

- Initial W. 3rd Street Improvements, inclusive of paving, street amenities, and utility improvement work
- Sewer and sewer facility improvements/relocation including force mains and pump station.
- Demolition of current Eagle Ramp facilities from W. 3rd to Ontario

Anticipated budget for these 3 initial public utility and infrastructure project components is estimated at \$7.2 million.



Euclid Beach Trail Connector

ARPA funding: \$3M

Leverage/total cost: \$16M

Timeline: Construction in 2024 **Key Partners:** Cuyahoga County,

Metroparks



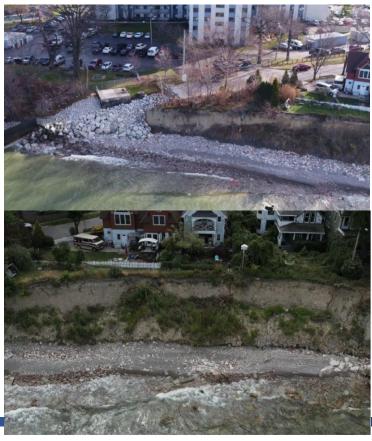
Project:

The Euclid Beach Trail Connector will expand public lakefront access from the Metroparks' Euclid Creek Reservation west along the neighborhoods of Beulah Park, Villa Beach and a small portion of Shore Acres. The Euclid Beach Trail Connector will be an approx. 0.44 mile bike/pedestrian trail. The project includes erosion control and public access along the waterfront.



Euclid Beach Trail Connector

EXISTING CONDITIONS



APPROXIMATE PROJECT AREA





Euclid Creek Greenway

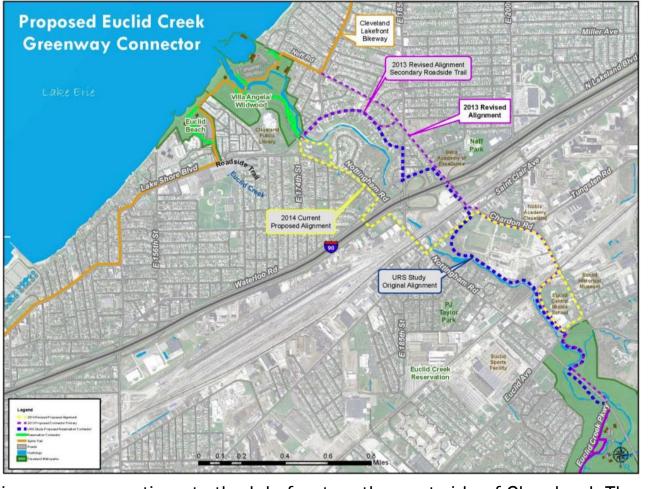
ARPA funding: \$500,000

Leverage/total cost: \$800,000

Timeline: 2023 – preliminary design; 2024 – detailed design and engineering **Key Partners:** Cuyahoga County, Metroparks

Project:

The Euclid Creek Greenway is a multi-phased trail project to improve connections to the lakefront on the east side of Cleveland. The project will close a critical transportation gap in the region and connect the lower portion of Euclid Creek Reservation to its northern portion along the lakefront that includes Euclid Beach, Villa Angela and Wildwood parks in the city of Cleveland. The Euclid Creek Greenway Phase 2 North will be an approx. 2.0 mile trail to provide residents a low stress route to the parks on Lake Erie.



Downtown Lakefront Masterplan (near term interventions)

ARPA funding: \$1M

Timeline: Installations in 2023 and 2024, which will last 3-5 years **Key Partners:** Greater Cleveland Partnership, Field Operations

Project:

Near term interventions demonstrate commitment and the city's promise that redevelopment of the lakefront for the benefit of all Clevelanders is a priority. Demonstrating the projects through semi-temporary means are great ways to analyze their value to Clevelanders. Bike lanes, racks, benches, shade structures, stages, pop-up vendors, fishing area enhancements, ADA docks for kayak launches, winter warming huts, play equipment, screens for movie nights, public art can be responsive to the community's input and serve to continue to solicit input and shape the final lakefront vision.



Inspiration

North Coast Connector

ARPA funding: \$3M

Leverage/total cost: \$50M

Timeline: 2023-Feasibility Study;

2024-Detailed Design and Engineering

Key Partners: Greater Cleveland Partnership, Field Operations





Irishtown Bend Park

ARPA funding: \$5M

Leverage/total cost: \$95M

Timeline: 2023-Bulkhead construction; 2023-24-

Utility work; 2025-2026-

Park Construction

Key Partners: Port

Authority, LAND Studio,

Metroparks, Ohio City, Inc.



Project:

\$5 million will support bulkhead and hillside stabilization and development of Irishtown Bend Park. Project partners will pursue federal support for these projects. City contribution will support local match requirements.



CHEERS Fishing Pier

ARPA funding: \$1.5M

Leverage/total cost: \$14.5M

Timeline: 2024 for design; permits secured in

2025; and construction in 2026

Key Partners: Port Authority, CHEERS!



Project:

The Cleveland Harbor Eastern Embayment Resilience Strategy (CHEERS) project is a concept that emerged from a yearlong study to determine how to transform Cleveland's lakeshore through reconnecting communities to the lake, improving public health, bolstering the economy, and benefiting the environment and natural habitat. The Early Implementation Phase of the CHEERS project will replace failing breakwall to maintain protected marina infrastructure, alter breakwall to facilitate paddle access, and expand nearshore habitat and provide additional 4-6 acres of parkland with enhanced fishing areas for residents.



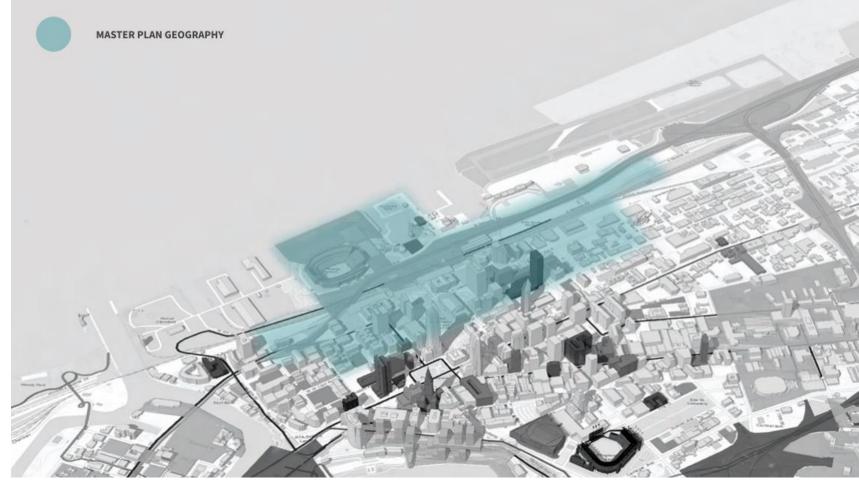
Waterfront Development Authority

ARPA funding: \$3M

Leverage/total cost: \$4.5M

Timeline: NCDC Operational in 2023

Key Partners: Cuyahoga County, Greater Cleveland Partnership



Project:

The City of Cleveland and Cuyahoga County will form a waterfront development authority, which will be a quasi-public entity with the sole purpose to plan and implement transformational projects on the waterfront. The entity will be known as the "North Coast Development Corporation" (NCDC), and will assist the City of Cleveland and its partners with the equitable development of the North Coast Lakefront as a destination for residents, businesses, and recreation. This funding will be directed toward the creation, staffing, and operations of the NCDC. This initial investment will lay the foundation and provide shared leadership for a decade or more of transformative development on the lakefront.



Questions?



601 Lakeside Avenue • Cleveland, Ohio, 44114 216.664.2000 | mayor.clevelandohio.gov











601 Lakeside Avenue O Cleveland, Ohio, 44114

216.664.2000 | mayor.clevelandohio.gov









Cleveland City Planning Commission

Administrative Approvals



CONTROL OF CONTROL OF

May 5, 2023

Ordinance No. 469-2023

(Introduced by Councilmembers Kazy and Griffin – by departmental request):

Determining the method of making the public improvement of the demolition and removal of the existing security guard station at 12302 Kirby Avenue, installing a new security guard station, and making site improvements; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.

SPA: Glenville

May 5, 2023



Ordinance No. 483-2023

(Introduced by Councilmembers Jones, Bishop, Gray, Hairston and Griffin – by departmental request): Authorizing the Directors of Community Development and Economic Development, as appropriate, to enter into one or more agreements for professional services necessary to prepare several vacant sites for development and authorizing other agreements; authorizing the directors to apply for and accept any gifts, grants or services from any public or private entity; authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire, accept, and record all real property and permanent and temporary easements to implement this ordinance; and authorizing other contracts.



Ordinance No. 489-2023

(Introduced by Councilmembers Bishop, Hairston and Griffin – by departmental request): Determining the method of making the public improvement of constructing roadway, traffic calming, and park and recreation improvements under the Back to Basics City-wide Infrastructure Improvement Program, including making site improvements and appurtenances; and authorizing the Director of Public Works or Capital Projects, as appropriate, to enter into one or more public improvement contracts, professional services, and other contracts; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Department of Public Works and the Office of Capital Projects.

May 5, 2023



Ordinance No. 505-2023

(Introduced by Councilmembers McCormack, Hairston, Bishop and Griffin – by departmental request): To amend Sections 1, 2 and 3 of Ordinance No. 995-2021, passed November 29, 2021, relating to granting to the Northeast Ohio Regional Sewer District certain easement rights at or under several City properties near South Marginal Road for the NEORSD's Shoreline Consolidation Sewer Project.

May 5, 2023



Ordinance No. 522-2023

(Introduced by Councilmembers Bishop, Hairston and Griffin – by departmental request): Authorizing the Director of City Planning to employ one or more consultants to provide professional services for the design, programming, management and/or fabrication of interactive arts, activities, sculptures, and/or other amenities in downtown Cleveland; and to enter into other contracts; authorizing contracts to implement; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.

SPA: Downtown

- LEVELAND OF STREET

May 5, 2023

Ordinance No. 527-2023

(Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin – by departmental request):

Authorizing the appropriation of \$3,000,000 from Fund No. 10 SF 400 for the detailed design of the North Coast Connector; and authorizing the Director of Capital Projects to apply for and accept any gifts, grants, or services from any public or private entity.

SPA: Downtown

THE VELANDO OF

May 5, 2023

Ordinance No. 530-2023

(Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin):

Authorizing the Director of Capital Projects to enter into one or more contracts with the Cleveland-Cuyahoga County Port [Authority] and LAND Studio, Inc. or their designees, related to the Irishtown Bend project; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.

SPA: Cuyahoga Valley

ELL EVELANDOS S

May 5, 2023

Ordinance No. 531-2023

(Introduced by Councilmembers Hairston, Bishop and Griffin – by departmental request): Authorizing the Director of Capital Projects and/or Port Control, as appropriate, to enter into one or more contracts with the Cleveland-Cuyahoga County Port Authority for the detailed design of the Early Implementation Phase of the Cleveland Harbor Eastern Embayment Resilience Strategy project; and authorizing the appropriate director to apply for and accept any gifts, grants or services from any public or private entity.

SPA: St Clair-Superior

Cleveland City Planning Commission

Director's Report



Cleveland City Planning Commission

Adjournment

